

**TOWNSHIP OF VERONA
BOARD OF ADJUSTMENT APPLICATION**

DATE APPLICATION 06/21/2024

CASE # 2024-16

PROPERTY ADDRESS 30 Elk Road, Verona, NJ 07044

BLOCK 906 LOT 41 ZONE R-50B

APPLICANT'S NAME Evan Scott

PHONE # 973-552-8886 CELL PHONE # 973-567-0149

EMAIL evan@escottarchitects.com

PROPERTY OWNER'S NAME Pete Romanyshyn

PROPERTY OWNER'S ADDRESS 30 Elk Road, Verona, NJ 07044

PROPERTY OWNER'S PHONE # 973-271-4230 CELL # 973-271-4230

PROPERTY OWNER'S EMAIL prom1329@gmail.com

RELATIONSHIP OF APPLICANT TO OWNER Architect

REQUEST IS HEREBY MADE FOR PERMISSION TO DO THE FOLLOWING:

The variance is to add a rear deck to the existing renovated garage. The deck would be for door landings and stairs down to the rear yard. The deck would be over the impervious coverage as well as over the allowable accessory structure coverage.

CONTRARY TO THE FOLLOWING:

The proposed deck needs a variance to make the construction easier and not have individual stairs and landings for each door out of the existing renovated structure. The deck will allow the flow of water between the boards but is considered to be impervious. We need stairs with landings for proper egress.

LOT SIZE: EXISTING 11,100 SF PROPOSED 11,100 SF TOTAL 11,100 SF

HIEGHT: EXISTING 22'-1" PROPOSED 22'-1"

PERCENTAGE OF BUILDING COVERAGE: EXISTING 2,707 SF PROPOSED 2,956 SF

PERCENTAGE OF IMPROVED LOT COVERAGE: EXISTING 5,993 SF PROPOSED 6,242 SF

PRESENT USE RESIDENTIAL PROPOSED USE RESIDENTIAL

SET BACKS OF BUILDING:	REQUIRED	EXISTING	PROPOSED
FRONT YARD	<u>5'-0"</u>	<u>48'-11" to primary</u>	<u>48'-11" to primary</u>
REAR YARD	<u>5'-0"</u>	<u>4'-3"</u>	<u>4'-3"</u>
SIDE YARD (1)	<u>5'-0"</u>	<u>4'-6.5"</u>	<u>4'-6.5"</u>
SIDE YARD (2)	<u>5'-0"</u>	<u>23'-7"</u>	<u>17'-6"</u>

DATE PROPERTY WAS ACQUIRED July 2019

BOARD OF ADJUSTMENT APPLICATION SITE PLAN

O INDICATES SHRUBS OR TREES

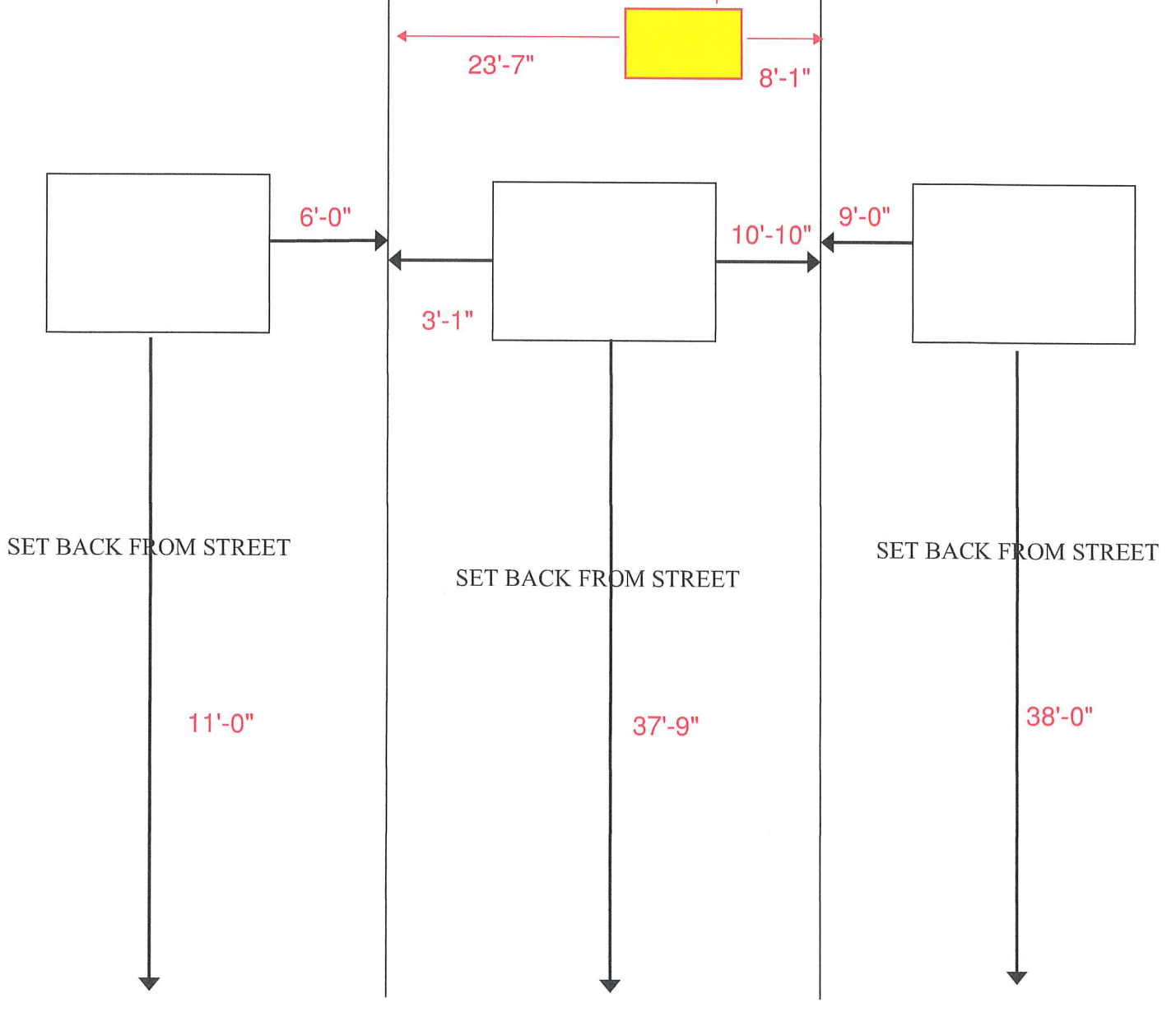
X INDICATES FENCES

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE
HOUSE ON LEFT

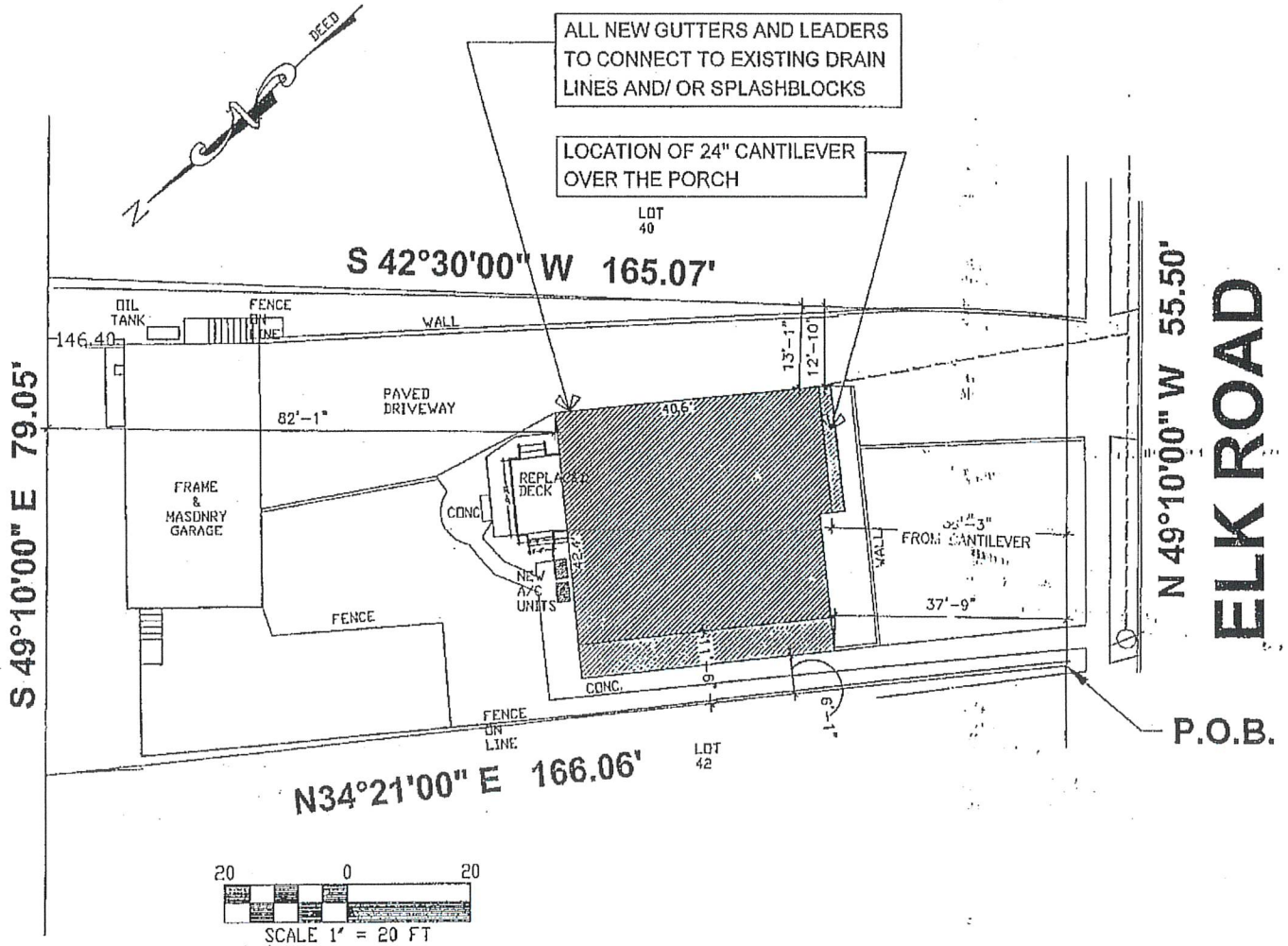
APPLICANT'S HOUSE
SHOW THE DISTANCE TO THE
PROPERTY LINE FROM
SURVEY

NEIGHBOR'S HOUSE
ESTIMATE DISTANCE FROM
THE PROPOERTY LINE
HOUSE ON RIGHT

CENTER HOUSE



STREET



CERTIFICATIONS:

- FAIRWAY TITLE AGENCY, LLC
- MICHAEL PATRIARCA, MARRIED
- MICHAEL AUSTIN, ESQ.

GENERAL NOTES:

1. THIS PLAN REPRESENTS A SURVEY MADE ON THE GROUND IN FEBRUARY 2017.
2. THIS SURVEY WAS PREPARED USING A TITLE COMMITMENT PREPARED BY FAIRWAY TITLE AGENCY, LLC COMMITMENT NO. FT-1825 HAVING AN EFFECTIVE DATE OF 1/25/17.
3. IF THIS PLAN DOES NOT CONTAIN AN ORIGINAL SIGNATURE AND IMPRESSION SEAL OF THE UNDERSIGNED LICENSED LAND SURVEYOR IT IS NOT AN AUTHENTIC COPY AND MAY HAVE BEEN ALTERED.
4. R.O.W. LINES AND ADJOINING PROPERTY LINES SHOWN HEREON WERE TAKEN FROM THE TAX MAPS FOR THIS MUNICIPALITY.
5. THIS SURVEY IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, WRITTEN AND UNWRITTEN.
6. THIS SURVEY MAKES NO REPRESENTATION TO THE LOCATION OF ANY SUB-SURFACE UTILITIES OR STRUCTURES THAT WERE NOT VISIBLE AT THE TIME OF THIS SURVEY.
7. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM "THE ULTIMATE USER" PURSUANT TO P.L.2003, C.14 N.J.S.A. C45:8-36.3 AND N.J.A.C.13:40-5.1(D).
8. THIS LAND SURVEY IS PREPARED FOR THE BENEFIT OF THE PARTIES LISTED AND IS NOT PREPARED FOR OR CERTIFIED TO SUBSEQUENT PARTIES.

BUILDING CODES

- 2015 INTERNATIONAL RESIDENTIAL CODE, NJ EDITION
- 2015 INTERNATIONAL MECHANICAL CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2015 NATIONAL STANDARD PLUMBING CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE

TYPE 5B CONSTRUCTION
USE: SINGLE FAMILY

- LIVE LOAD = 40 PSF
- ATTICS WITHOUT STORAGE = 10 PSF
- DEAD LOADS = 20 PSF
- GROUND SLOW LOADS = 25 PSF
- DECKS = 40 P.S.F.
- WIND LOADS = 115 (3 SEC PEAK MPH)

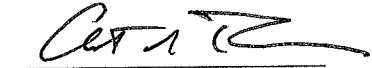
AUTHORIZATION

IF ANYONE OTHER THAN THE OWNER IS MAKING THIS APPLICATION, THE FOLLOWING AUTHORIZATION MUST BE EXECUTED.

TO THE BOARD OF ADJUSTMENT

EScott Architects, LLC _____ IS AUTHORIZED TO MAKE THE WITHIN APPLICATION.

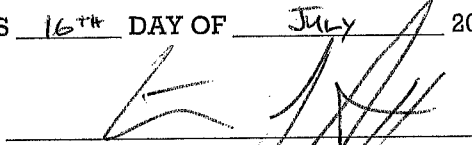
SWORN AND SUBSCRIBED BEFORE ME THIS 16th DAY OF July 2024.



Christopher S. Remington

NOTARY

Judge of The Superior Court

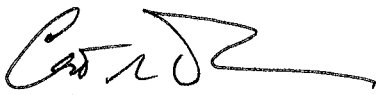



APPLICANT

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY
COUNTY OF ESSEX

Peter Romanyshyn OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW ON
OATH DEPOSED AND SAYS, THAT DEPONENT RESIDES AT 30 Elk Road, IN THE CITY OF
Verona IN THE COUNTY OF Essex AND STATE OF NJ AND THAT
Peter Romanyshyn IS THE OWNER IN FEE OF ALL THAT CERTAIN LOT, PIECE OF LAND,
SITUATED, LYING AND BEING IN THE TOWNSHIP OF VERONA AFORESAID AND KNOWN AND DESIGNATED AS
BLOCK 906 AND LOT 41 AS SHOWN ON THE TAX MAPS OF THE TOWNSHIP OF VERONA.

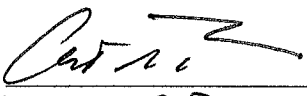

Christopher S. Romanyshyn
NOTARY
Judge of The Superior Court

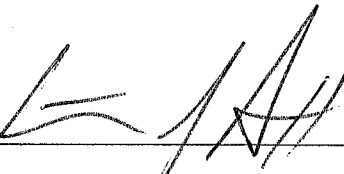

OWNER

AFFIDAVIT OF APPLICANT

COUNTY OF ESSEX
STATE OF NEW JERSEY

Evan J Scott OF FULL AGE, BEING DULY SWORN ACCORDING TO LAW, ON
OATH DEPOSED AND SAYS THAT ALL OF THE ABOVE STATEMENTS CONTAINED IN THE PAPERS SUBMITTED
HEREWITH ARE TRUE. SWORN TO AND SUBSCRIBED BEFORE ME ON THIS 16TH DAY OF July
2024.


Christopher S. Romanyshyn
NOTARY
Judge of The Superior Court


APPLICANT

TOWNSHIP OF VERONA
COUNTY OF ESSEX, NEW JERSEY

TOWNSHIP MANAGER
JOSEPH O. D'ARCO
TOWNSHIP CLERK
JENNIFER KIERNAN



DEPUTY MANAGER
KEVIN O'SULLIVAN
TOWNSHIP ATTORNEY
BRIAN J. ALOIA, ESQ.

VERONA COMMUNITY CENTER
880 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044

MUNICIPAL BUILDING
600 BLOOMFIELD AVENUE
VERONA, NEW JERSEY 07044
(973) 239-3220
WWW.VERONANJ.ORG

DEPARTMENT OF PUBLIC WORKS
10 COMMERCE COURT
VERONA, NEW JERSEY 07044

Zoning Office 880 Bloomfield Avenue, Verona, NJ 07044 973-857-4772

June 10, 2024

Zoning Permit #2024-105 – DENIED – Deck

Applicant/Owner: Romanyshyn
 30 Elk Road
 Verona, NJ 07044

Property: 30 Elk Road; Block 906, Lot 41
Zone: R-50B (Medium/High-Density Single-Family) Zone District

Submittals:

This office is in receipt of the following:

- Township of Verona Residential Permit Application;
- Architectural plans by EScott Architects, LLC, signed and sealed by Evan J. Scott, dated 10/2023, revised for proposed deck 5/10/2024

ZONING REQUEST:

Based upon the zoning permit application, the applicant is seeking approval for a 249 square foot deck in the rear yard by existing garage. No other requests have been requested or shown and therefore have not been considered in this departments review.

ZONING DECISION:

- The property is in the R-50B (Medium/High-Density Single-Family) Zone District;
- Per § 150-17.4 A (1) single family homes are permitted - Compliant;
- Per § 150-17.4 B (4) decks are permitted - Compliant;
- Per § 150-17.4 D (1) Minimum lot size is 7,500 square feet, where existing is 11,100 SF – Compliant;
- Per § 150-17.4 D (2) Minimum lot width is 50 feet where existing is 55.5 feet at front property line and 79.05 feet at rear property line – Compliant;
- **Per § 150-17.4 D (4) maximum improved lot coverage is 40%; pre-existing non-conforming is 53.99% as noted on plans with proposed as 56.23%. The pre-existing non-conforming improved lot coverage is proposed to increase. A Variance is required.**
- Per § 150-17.4 E. (2) Minimum side yard setback (one) is eight feet where proposed is 20' 7 ½" at rear of proposed deck and 17' 6" and front of proposed deck – Compliant;
- Per § 150-17.4 E (5) Minimum rear yard setback is 30 feet; existing pre-existing non-conforming from garage to rear property line 4' 4 ½"; proposed deck is 4' 10 ½" from rear yard and not exacerbating the pre-existing setback.

- **Per § 150-17.4 F (4)** the maximum aggregate area covered by the accessory structures in the yard it is located in is 15%; the rear yard is 5,228 square feet where 15% is 784.2 square feet; existing is 38% or 2,028 square feet, proposed is 43% or 2,277 square feet. **A Variance is required.**
- Per § 150-17.4 F (5) the maximum height of an accessory structure is 15 feet. The proposed deck varies in height due to the grade, with the lowest portion at 12" off of grade and the highest will be 24" - Compliant
- No trees are proposed to be removed;
- This submission will not require engineering review and approval as it is under 400 square feet of disturbance;
- The proposed limit of disturbance is below 5000 SF; HEPSCD certification will not be required.

Based on the reviewed submitted items, the applicant's request for a Zoning Permit has been DENIED by this office for the proposed deck.

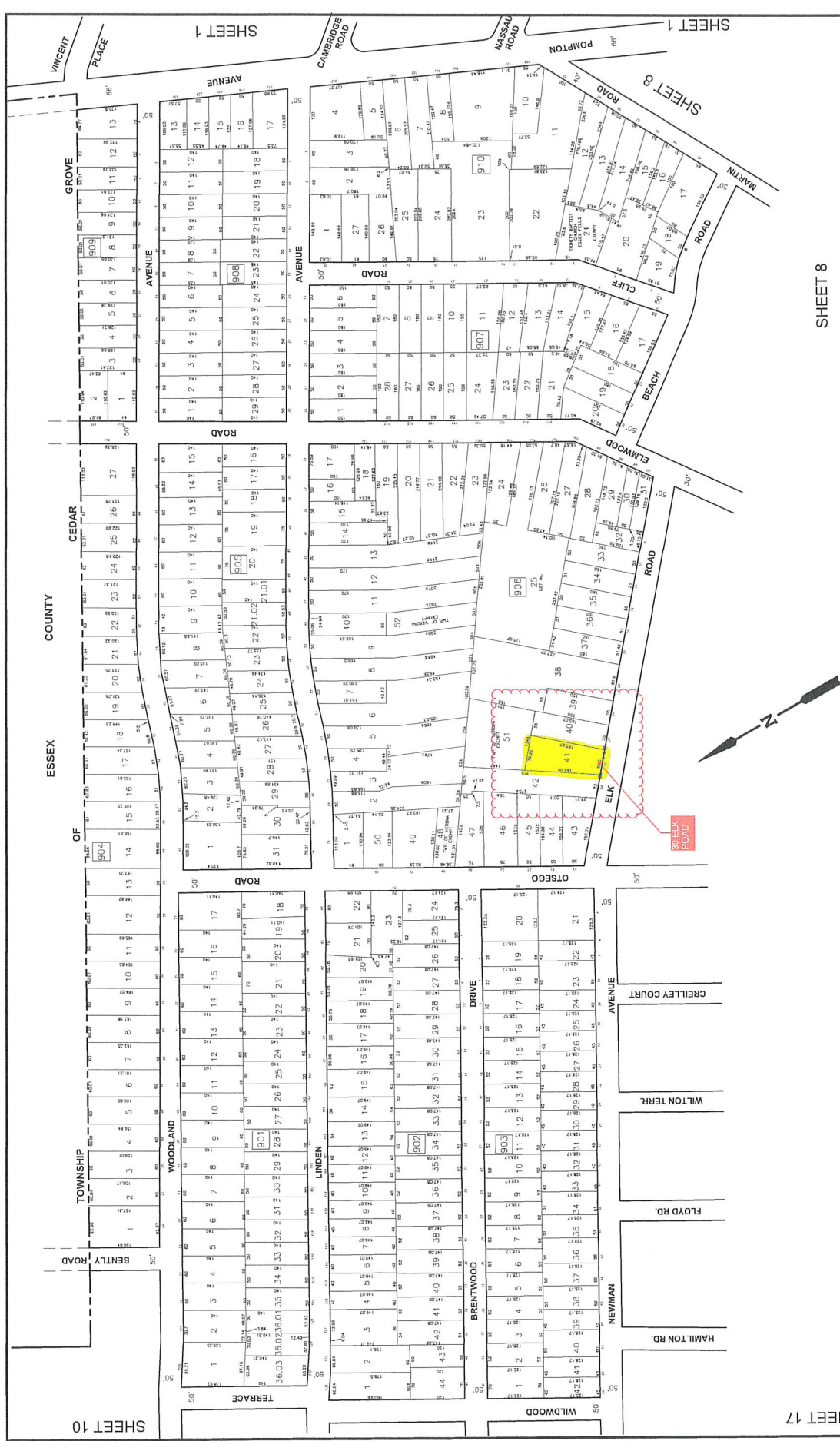
Please feel free to contact this office should you have any questions.

Respectfully Submitted,



Kathleen Miesch
Zoning Official

cc: Tom Jacobsen, Construction Official
Kristin Spatola, Technical Assistant



TAX MAP
 TOWNSHIP OF VERONA
 ESSEX COUNTY, NEW JERSEY
 SCALE 1"=100'
 PREPARED BY
 JANUARY 1, 2017
JAMES M. HELB, P.E., P.L.S., P.P.
 TOWNSHIP ENGINEER
 NEW JERSEY LICENSE NO. 24272
 VERONA, NJ 07044

THIS MAP HAS BEEN GIVEN A
 FORMAL CERTIFICATION DIVISION
 OF TAXATION ON NOVEMBER 27,
 2015, SIGNED BY JUDY P. MILLER
 AND TIFFANY A. FIELDS AND
 ASSIGNED SERIAL NUMBER 1067

THIS IS A DIGITIZED COPY OF THE TAX MAP
 PREPARED BY CASEY & KELLER, INC AND
 THE ORIGINAL IS ON FILED IN THE OFFICE OF
 THE ENGINEER.

NO.	DATE	REVISION

Rear of Main House to Front of Garage



Garage - Right Side Yard



Garage - Left Side Yard



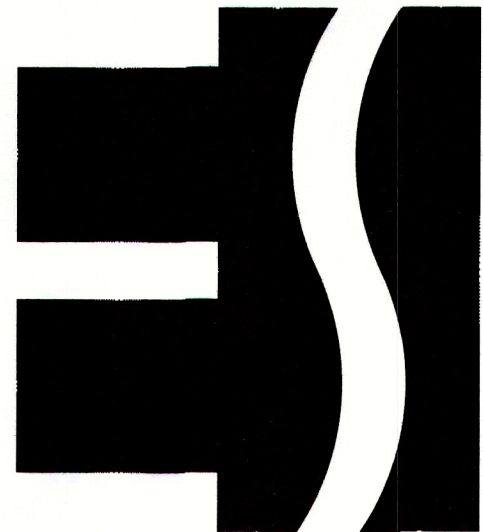
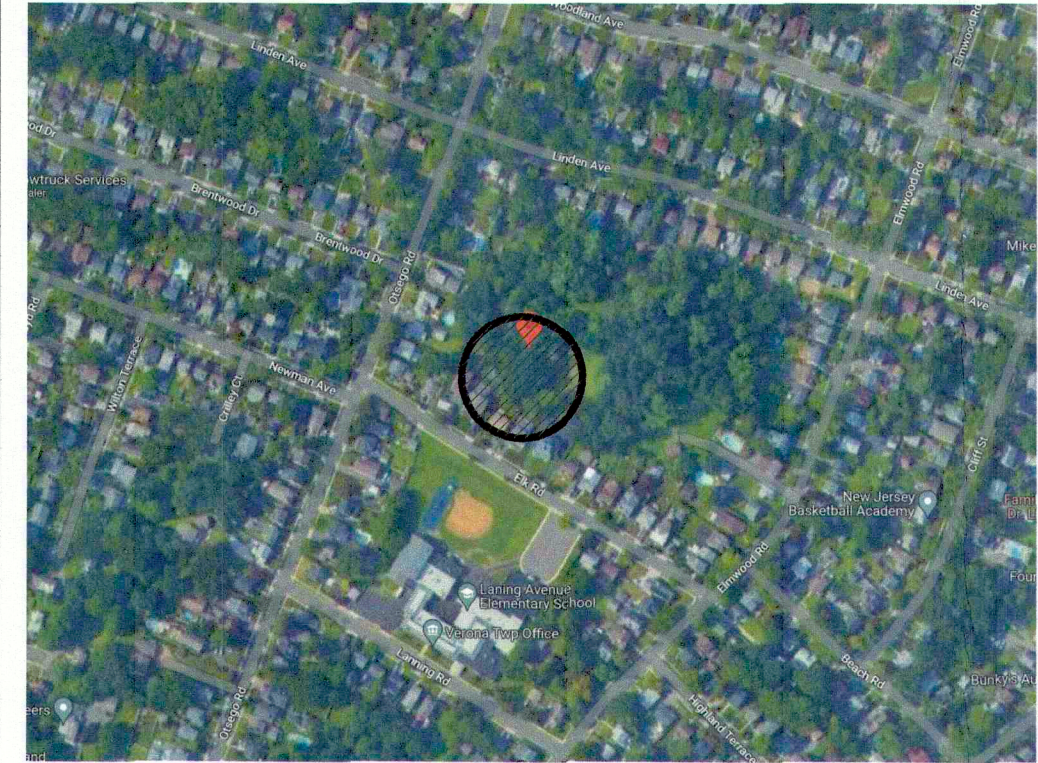


Garage - Rear Yard

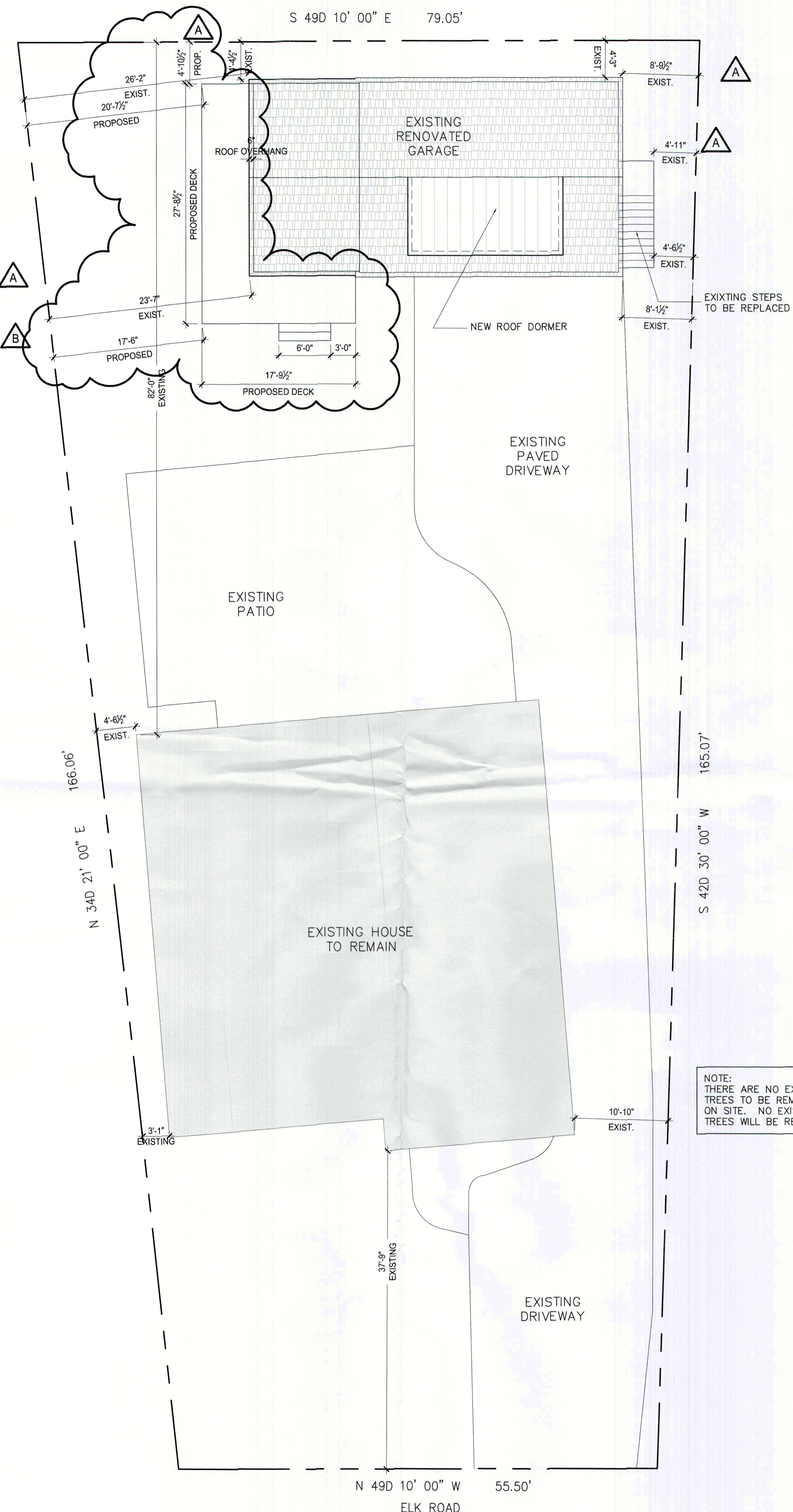
THE ROMANYSHYN RESIDENCE

DETACHED GARAGE RENOVATION

30 ELK ROAD
VERONA, NEW JERSEY
07044

ISSUED FOR AMENDMENT B 05-10-2024

 <p>ARCHITECTS</p> <p>ESCOTT ARCHITECTS, LLC</p> <p>28 Arlington Avenue Caldwell, NJ 07006</p> <p>PH: 973.552.8886 FA: 973.680.1905 info@escottarchitects.com</p>	<p>ABBREVIATIONS</p> <table border="0"> <tr> <td>• A/C</td><td>AIR CONDITIONING</td><td>EA</td><td>EACH</td><td>HW</td><td>HOT WATER</td><td>PTD</td><td>PAINT (ED)</td><td>STD</td><td>STAINLESS</td><td></td><td></td></tr> <tr> <td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>EL</td><td>ELEVATION</td><td>H</td><td>HEATER</td><td>PNL</td><td>PANEL</td><td></td><td>STANDARD</td><td></td><td></td></tr> <tr> <td>ADJ</td><td>ADJUST (ABLE)</td><td>ELEC</td><td>ELECTRIC</td><td>HVAC</td><td>HEATING / VENTILATION</td><td>PL</td><td>PLATE</td><td>STL</td><td>STEEL</td><td></td><td></td></tr> <tr> <td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>ELEV</td><td>ELEVATION</td><td></td><td></td><td>PL</td><td>PLASTIC</td><td>STOR</td><td>STORAGE</td><td></td><td></td></tr> <tr> <td>AFS</td><td>ABOVE FINISHED SLAB</td><td>ENCL</td><td>ENCLOSE</td><td></td><td></td><td>PLUMB</td><td>PLUMBING</td><td>ST.STL</td><td>STAINLESS STEEL</td><td></td><td></td></tr> <tr> <td>ALT</td><td>ALTERNATE</td><td>EQ</td><td>EQUAL</td><td>INCL</td><td>INCLUDE (ING)</td><td>POL</td><td>POLISHED</td><td>SURF</td><td>SURFACE</td><td></td><td></td></tr> <tr> <td>ALUM</td><td>ALUMINUM</td><td>EQUIP</td><td>EQUIPMENT</td><td>INSUL</td><td>INSULATE (ION)</td><td>PROJ</td><td>PROJECT</td><td>SUSP</td><td>SUSPENDED</td><td></td><td></td></tr> <tr> <td></td><td></td><td>ETC</td><td>ET CETERA</td><td>INT</td><td>INTERIOR</td><td>PT</td><td>POINT</td><td></td><td></td><td></td><td></td></tr> <tr> <td></td><td></td><td>EWC</td><td>ELECTRIC WATER</td><td></td><td></td><td>PTN</td><td>PARTITION</td><td>T</td><td>TREAD</td><td></td><td></td></tr> <tr> <td>BD</td><td>BOARD</td><td>COOLER</td><td>JC</td><td>JANITOR'S CLOSET</td><td></td><td>PLAM</td><td>PLASTIC LAMINATED PLYWOOD</td><td>T&B</td><td>TOP & BOTTOM</td><td></td><td></td></tr> <tr> <td>BLDG</td><td>BUILDING</td><td>EXH</td><td>EXHAUST</td><td>JOINT</td><td></td><td>PWD</td><td></td><td>TEMP</td><td>TEMPERED</td><td></td><td></td></tr> <tr> <td>BLKG</td><td>BLOCKING</td><td>EXIST.</td><td>EXISTING</td><td></td><td></td><td></td><td></td><td>TERR</td><td>TERRAZZO, TERRACE</td><td></td><td></td></tr> <tr> <td>BO</td><td>BY OTHERS, BOTTOM OF</td><td>EXP</td><td>EXPOSED</td><td>KIT</td><td>KITCHEN</td><td></td><td></td><td>T&G</td><td>TONGUE & GROOVE</td><td></td><td></td></tr> <tr> <td>BOTT</td><td>BOTTOM</td><td></td><td></td><td>KO</td><td>KNOCKOUT</td><td>QT</td><td>QUARRY TILE</td><td>TK</td><td>THICK (NESS)</td><td></td><td></td></tr> <tr> <td>BS</td><td>BUILDING STANDARD</td><td>FA</td><td>FRESH AIR</td><td></td><td></td><td>R</td><td>RADIUS/RISER</td><td>TKBO</td><td>TACKBOARD</td><td></td><td></td></tr> <tr> <td>BSMT</td><td>BASEMENT</td><td>FE</td><td>FIRE EXTINGUISHER</td><td>L</td><td>LENGTH</td><td>RA</td><td>RETURN AIR</td><td>TO</td><td>TRIMMED OPENING</td><td></td><td></td></tr> <tr> <td></td><td></td><td>FEC</td><td>FIRE EXTINGUISHER CABINET</td><td>LAM</td><td>LAMINATE</td><td>RB</td><td>RESILIENT BASE</td><td>T.V.</td><td>TELEVISION TYP.</td><td></td><td></td></tr> <tr> <td>C</td><td>CARPETING</td><td>FG</td><td>FLOAT GLASS</td><td>LAV</td><td>LAVATORY</td><td>REF</td><td>REFERENCE</td><td></td><td></td><td></td><td></td></tr> <tr> <td>CAB</td><td>CABINET</td><td>FIN</td><td>FINISH</td><td>LT</td><td>LIGHT</td><td>REFRIG.</td><td>REFRIGERATOR</td><td>REG</td><td>REGISTER</td><td></td><td></td></tr> <tr> <td>CL</td><td>CENTERLINE</td><td>FL</td><td>FLOOR</td><td>MECH</td><td>MECHANICAL</td><td>REG</td><td>REGISTER</td><td>REL</td><td>RELOCATED</td><td></td><td></td></tr> <tr> <td>CL2</td><td>CLEAR</td><td>FLUOR</td><td>FLUORESCENT</td><td>MET</td><td>METAL</td><td>REQ'D</td><td>REQUIRED</td><td>RETN</td><td>RETURN</td><td></td><td></td></tr> <tr> <td>CLOS</td><td>CLOSET</td><td>FP</td><td>FIREPROOF SELF-CLOSING</td><td>MISC</td><td>MISCELLANEOUS</td><td>REV</td><td>REVISION</td><td>R.F.</td><td>RAISED FLOOR</td><td></td><td></td></tr> <tr> <td>COL</td><td>COLUMN</td><td>FR</td><td>FIRE RETARDANT</td><td>MO</td><td>MASONRY OPENING</td><td>RH</td><td>RIGHT HAND</td><td>RM</td><td>ROOM</td><td></td><td></td></tr> <tr> <td>CONC</td><td>CONCRETE</td><td>FUT</td><td>FUTURE</td><td>MTD</td><td>MOUNTED</td><td>RM</td><td>ROOM</td><td>RO</td><td>ROUGH OPENING</td><td></td><td></td></tr> <tr> <td>CONSTR</td><td>CONSTRUCTION</td><td></td><td></td><td>MTL</td><td>MATERIAL</td><td></td><td></td><td>S</td><td>SPEAKER</td><td></td><td></td></tr> <tr> <td>CONTR</td><td>CONTRACTOR</td><td>GA</td><td>GALVE</td><td>NA</td><td>NOT APPLICABLE</td><td>SCH</td><td>SCHEDULE</td><td>SCH</td><td>SECTION</td><td></td><td></td></tr> <tr> <td>COOR</td><td>CORRIDOR</td><td>GC</td><td>GENERAL CONTRACT</td><td>NIC</td><td>NOT IN CONTRACT</td><td>SECT.</td><td>SECTION</td><td>SG</td><td>SAFETY GLASS SHEET</td><td></td><td></td></tr> <tr> <td>CT</td><td>CERAMIC TILE</td><td>GL</td><td>GLASS</td><td>NOM</td><td>NOMINAL</td><td>SG</td><td>SAFETY GLASS SHEET</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DEM</td><td>DEMOLISH, (TION)</td><td>GYP. BD.</td><td>GYPSUM BOARD</td><td>NTS</td><td>NOT TO SCALE</td><td>SP</td><td>STARTING POINT SPECIFICATION</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DET</td><td>DETAIL</td><td></td><td></td><td>OA</td><td>OVERALL</td><td>SP</td><td>STARTING POINT SPECIFICATION</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DF</td><td>DRINKING FOUNTAIN</td><td></td><td></td><td>OC</td><td>ON CENTER</td><td>SPK</td><td>SPEAKER</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DH</td><td>DOUBLE HUNG</td><td></td><td></td><td>OD</td><td>OUTSIDE OF DIAMETER</td><td>SPK</td><td>SPEAKER</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DIA</td><td>DIAMETER</td><td></td><td></td><td>OH</td><td>OVER-HEAD OPENING</td><td>SS</td><td>SERVICE SINK</td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DIAG</td><td>DIAGONAL</td><td></td><td></td><td>OP</td><td>OPENING</td><td></td><td></td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DIM</td><td>DIMENSION</td><td></td><td></td><td>OPP</td><td>OPPOSITE</td><td></td><td></td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DN</td><td>DOWN</td><td></td><td></td><td></td><td></td><td></td><td></td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DR</td><td>DOOR</td><td></td><td></td><td></td><td></td><td></td><td></td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> <tr> <td>DWG</td><td>DRAWING</td><td></td><td></td><td></td><td></td><td></td><td></td><td>SH</td><td>SIMILAR</td><td></td><td></td></tr> </table>										• A/C	AIR CONDITIONING	EA	EACH	HW	HOT WATER	PTD	PAINT (ED)	STD	STAINLESS			ACT	ACOUSTICAL CEILING TILE	EL	ELEVATION	H	HEATER	PNL	PANEL		STANDARD			ADJ	ADJUST (ABLE)	ELEC	ELECTRIC	HVAC	HEATING / VENTILATION	PL	PLATE	STL	STEEL			AFF	ABOVE FINISHED FLOOR	ELEV	ELEVATION			PL	PLASTIC	STOR	STORAGE			AFS	ABOVE FINISHED SLAB	ENCL	ENCLOSE			PLUMB	PLUMBING	ST.STL	STAINLESS STEEL			ALT	ALTERNATE	EQ	EQUAL	INCL	INCLUDE (ING)	POL	POLISHED	SURF	SURFACE			ALUM	ALUMINUM	EQUIP	EQUIPMENT	INSUL	INSULATE (ION)	PROJ	PROJECT	SUSP	SUSPENDED					ETC	ET CETERA	INT	INTERIOR	PT	POINT							EWC	ELECTRIC WATER			PTN	PARTITION	T	TREAD			BD	BOARD	COOLER	JC	JANITOR'S CLOSET		PLAM	PLASTIC LAMINATED PLYWOOD	T&B	TOP & BOTTOM			BLDG	BUILDING	EXH	EXHAUST	JOINT		PWD		TEMP	TEMPERED			BLKG	BLOCKING	EXIST.	EXISTING					TERR	TERRAZZO, TERRACE			BO	BY OTHERS, BOTTOM OF	EXP	EXPOSED	KIT	KITCHEN			T&G	TONGUE & GROOVE			BOTT	BOTTOM			KO	KNOCKOUT	QT	QUARRY TILE	TK	THICK (NESS)			BS	BUILDING STANDARD	FA	FRESH AIR			R	RADIUS/RISER	TKBO	TACKBOARD			BSMT	BASEMENT	FE	FIRE EXTINGUISHER	L	LENGTH	RA	RETURN AIR	TO	TRIMMED OPENING					FEC	FIRE EXTINGUISHER CABINET	LAM	LAMINATE	RB	RESILIENT BASE	T.V.	TELEVISION TYP.			C	CARPETING	FG	FLOAT GLASS	LAV	LAVATORY	REF	REFERENCE					CAB	CABINET	FIN	FINISH	LT	LIGHT	REFRIG.	REFRIGERATOR	REG	REGISTER			CL	CENTERLINE	FL	FLOOR	MECH	MECHANICAL	REG	REGISTER	REL	RELOCATED			CL2	CLEAR	FLUOR	FLUORESCENT	MET	METAL	REQ'D	REQUIRED	RETN	RETURN			CLOS	CLOSET	FP	FIREPROOF SELF-CLOSING	MISC	MISCELLANEOUS	REV	REVISION	R.F.	RAISED FLOOR			COL	COLUMN	FR	FIRE RETARDANT	MO	MASONRY OPENING	RH	RIGHT HAND	RM	ROOM			CONC	CONCRETE	FUT	FUTURE	MTD	MOUNTED	RM	ROOM	RO	ROUGH OPENING			CONSTR	CONSTRUCTION			MTL	MATERIAL			S	SPEAKER			CONTR	CONTRACTOR	GA	GALVE	NA	NOT APPLICABLE	SCH	SCHEDULE	SCH	SECTION			COOR	CORRIDOR	GC	GENERAL CONTRACT	NIC	NOT IN CONTRACT	SECT.	SECTION	SG	SAFETY GLASS SHEET			CT	CERAMIC TILE	GL	GLASS	NOM	NOMINAL	SG	SAFETY GLASS SHEET	SH	SIMILAR			DEM	DEMOLISH, (TION)	GYP. BD.	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Scott NJ License # 21A101837000</p>
	• A/C	AIR CONDITIONING	EA	EACH	HW	HOT WATER	PTD	PAINT (ED)	STD	STAINLESS																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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ROMANYSHYN RESIDENCE

30 ELK ROAD
VERONA, NEW JERSEY

ZONING DISTRICT: RESIDENTIAL - R-50B
CLIMATE ZONE: 4A
TAX BLOCK: 906
TAX LOT: 41

LOADS

1. ROOF DEAD LOAD: 20 PSF
2. ROOF LIVE LOAD: 30 PSF
3. FLOOR DEAD LOAD (AT WOOD FINISH): 20 PSF
4. FLOOR DEAD LOAD (AT TILE FINISH): 30 PSF
5. FLOOR LIVE LOAD: 40 PSF
6. ATTIC WITHOUT STORAGE: 10 PSF
7. GUARDRAILS AND HANDRAILS: 200 PSF
8. GUARDRAIL INFILL COMPONENTS: 50 PSF
9. STAIRS: 40 PSF
10. SNOW LOAD: 30 PSF
11. WIND LOAD: 115 MPH, 3-SEC GUSTS
12. RISK CATEGORY: II

BULK CALCULATIONS

LOT AREA:	11,100 SQ.FT.
BUILDING COVERAGE EXISTING	2,707 SF / 11,100 SF = 24.39%
EXISTING HOUSE	1,805 SF
EXISTING GARAGE	902 SF
IMPERVIOUS COVERAGE EXISTING	5,993 SF / 11,100 SF = 53.99%
EXISTING HOUSE	1,805 SF
EXIST REAR PATIO	1,126 SF
EXIST DRIVEWAY	2,160 SF
EXIST GARAGE	902 SF
BUILDING COVERAGE PROPOSED	2,956 SF / 11,100 SF = 26.63%
EXISTING HOUSE	1,805 SF
EXISTING GARAGE	902 SF
PROPOSED DECK	249 SF
IMPERVIOUS COVERAGE PROPOSED	6,242 SF / 11,100 SF = 56.23%
EXISTING HOUSE	1,805 SF
EXIST REAR PATIO	1,126 SF
EXIST DRIVEWAY	2,160 SF
EXISTING GARAGE	902 SF
PROPOSED DECK	249 SF

BUILDING AREA

EXISTING FIRST FLOOR:	902 SQ.FT.
ADDITION TO FIRST FLOOR:	0 SQ.FT.
TOTAL FIRST FLOOR:	902 SQ.FT.
EXISTING SECOND FLOOR:	662 SQ.FT.
ADDITION TO SECOND FLOOR:	0 SQ.FT.
TOTAL SECOND:	662 SQ.FT.
TOTAL FLOOR AREA:	1,564 SQ.FT.
TOTAL FLOOR AREA RATIO:	1,564 SQ.FT. / LOT 11,100 SQ.FT. = 14.09%
PROPOSED ADDITION VOLUME:	0 CU.FT. FIRST FLOOR 0 CU.FT. SECOND FLOOR

BUILDING HEIGHT

EXISTING HEIGHT: 1.5 STORY W/ BASEMENT
± 29'-0"

SETBACKS

SOUTH FRONT SETBACK:	PROPOSED 137'-9" EXISTING	REQUIRED 10'-0"
NORTH REAR SETBACK:	4'-3" EXISTING	10'-0"
EAST SIDE SETBACK:	4'-6.5" EXISTING	10'
WEST SIDE SETBACK:	23'-7" EXISTING	10' (18' TOTAL REQ'D)

CODE COMPLIANCE

GOVERNING CODE OF NEW ADDITION AND INTERIOR ALTERATIONS TO BE PER:

- INTERNATIONAL RESIDENTIAL CODE, NJ ADDITION 2021
- REHABILITATION SUBCODE - NJAC 5:23-6
- NATIONAL ELECTRICAL CODE, 2020
- NATIONAL STANDARD PLUMBING CODE, 2021
- INTERNATIONAL ENERGY CONSERVATION CODE, 2021 (RESIDENTIAL)

HEIGHT CALCULATION

1. FINISHED FIRST FLOOR: 0'-0"
 2. FRONT RIGHT CORNER: 0'-0"
 3. RIGHT SIDE MIDDLE: -0'-11"
 4. RIGHT SIDE REAR: -0'-5"
 5. LEFT SIDE REAR: -2'-9"
 6. LEFT SIDE MIDDLE: -2'-6"
 7. LEFT SIDE FRONT: -2'-4"
 8. FRONT MIDDLE: 0'-0"
- AVERAGE GRADE HEIGHT: -1'-7.02"
ROOF LINE ABOVE FINISHED FIRST FLOOR: 18'-10"
HEIGHT OF NEW BUILDING ABOVE GRADE: 20'-5"

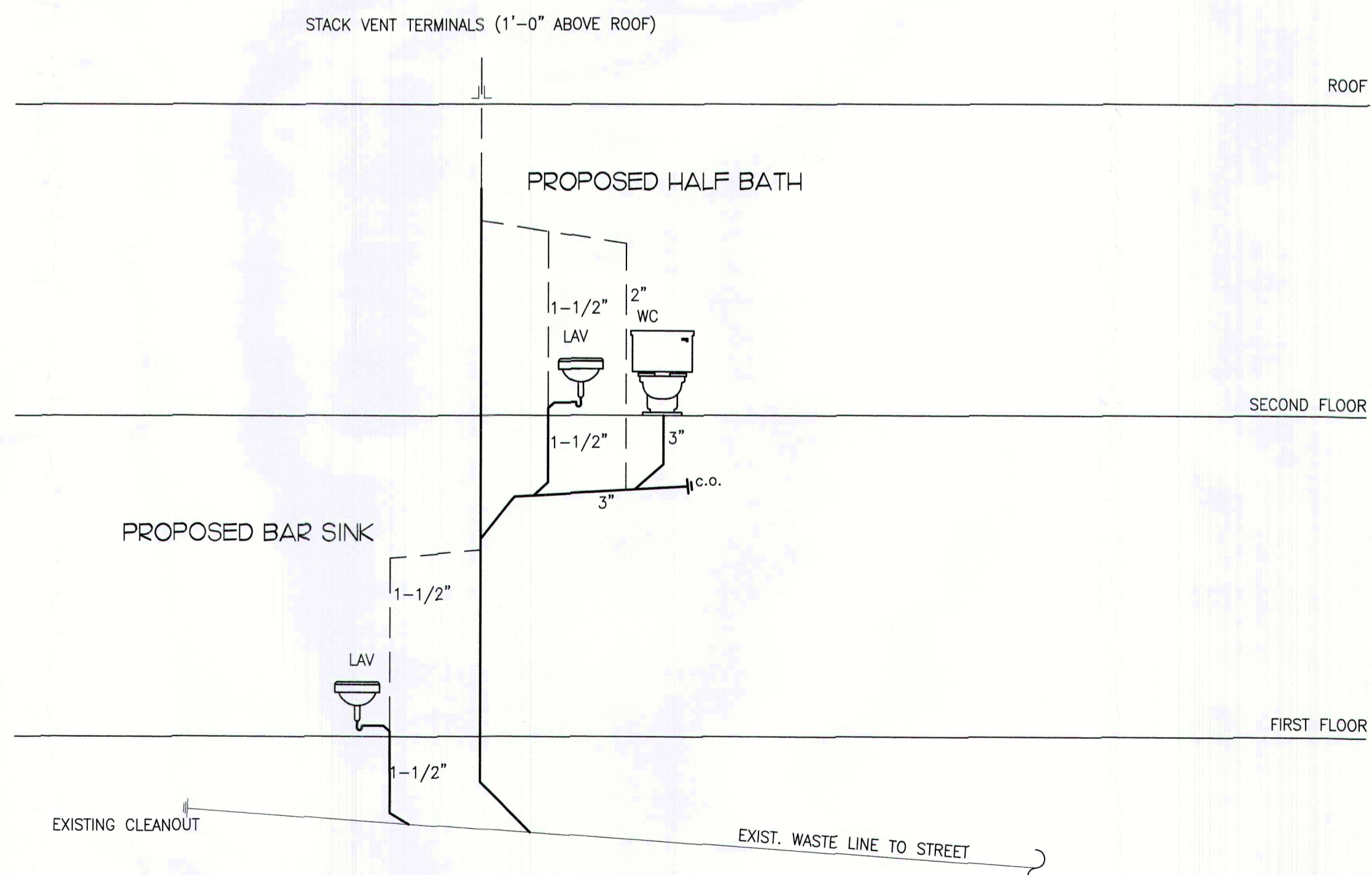
§ 150-5.4 MAXIMUM LOT COVERAGE.

A. THE MAXIMUM PERCENTAGE OF LOT COVERAGE BY BUILDINGS OR STRUCTURES AND THE REQUIRED AREA OF FRONT, REAR AND SIDE YARDS SHALL BE AS NOTED IN THE SCHEDULE OF ZONE DISTRICT REGULATIONS.[1]

[1] EDITOR'S NOTE: SEE ARTICLE XVII.

B. ALL ACCESSORY BUILDINGS SHALL BE COMPUTED WITH THE PRINCIPAL BUILDING IN DETERMINING THE COVERAGE OF THE LAND.

NOTE:
THERE ARE NO EXISTING TREES TO BE REMOVED ON SITE. NO EXISTING TREES WILL BE REMOVED



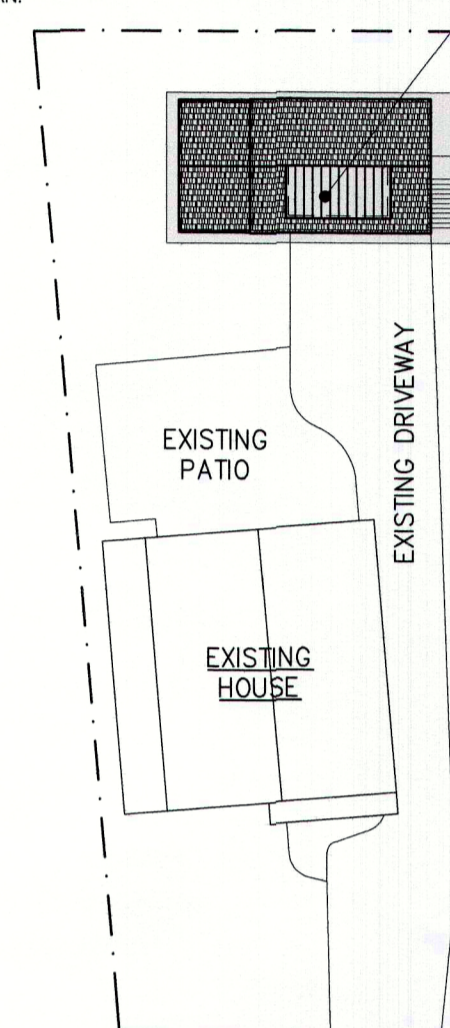
ARCHITECTS

EScott Architects, LLC

28 Arlington Avenue
Caldwell, NJ 07006

P: 973.552.8886 | F: 973.650.1905 | info@escottarchitects.com

KEY PLAN: AREA OF WORK



ELK ROAD

NO.	DATE	DESCRIPTION
4	05/10/24	ISSUED FOR NEW DECK-AMEND B
3	11/20/23	ISSUED FOR ZONING RESPONSE-AMEND A
2	10/05/23	ISSUED FOR PERMIT
1	05/03/23	ISSUED FOR BID

PROJECT:

ROMANYSHYN RESIDENCE

30 ELK ROAD
VERONA, NJ 07044

DRAWING TITLE:

**SITE PLAN
CODES AND
PLUMBING RISER**

DRAWN BY:

ES

CHECKED BY:

ES

DATE:

OCTOBER 2023

PROJECT NO.:

ES-2311

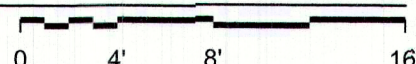
DRAWING NO.:

A-01

SHEET: 2 OF 13

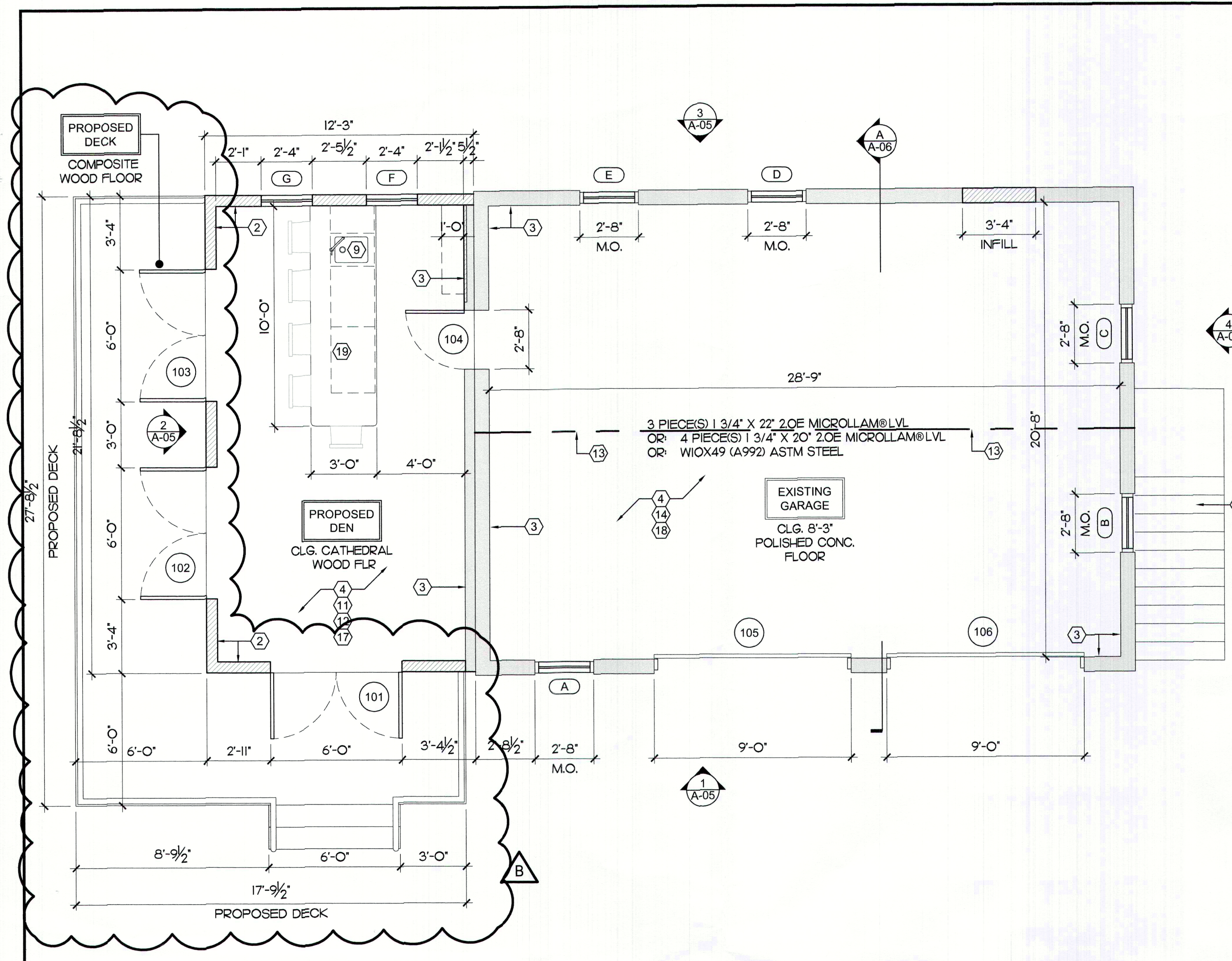
1 PROPOSED SITE PLAN

A-01 SCALE: 1/8" = 1'-0"



2 PLUMBING RISER DIAGRAM

A-01 SCALE: NTS



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 A-03

DOOR SCHEDULE

#	TYPE OF DOOR	HARDWARE	WIDTH	HEIGHT	NOTES
FIRST FLOOR					
101	NEW WOOD FRENCH DOOR	ENTRY	(2) 3'-0"	6'-8"	TEMPERED GLAZING
102	NEW WOOD FRENCH DOOR	ENTRY	(2) 3'-0"	6'-8"	TEMPERED GLAZING
103	NEW WOOD FRENCH DOOR	ENTRY	(2) 3'-0"	6'-8"	TEMPERED GLAZING
104	NEW WOOD 2 PANEL DOOR	ENTRY	2'-8"	6'-8"	
105	STEEL GARAGE DOOR - EXISTING	OPENER	9'-0"	7'-0"	EXISTING
106	STEEL GARAGE DOOR - EXISTING	OPENER	9'-0"	7'-0"	EXISTING
SECOND FLOOR					
201	NEW WOOD PANEL DOOR	ENTRY	3'-0"	6'-8"	
202	NEW WOOD PANEL DOOR	PASSAGE	(2) 2'-6"	6'-8"	CLOSET
203	NEW WOOD PANEL POCKET DOOR	PASSAGE	2'-6"	6'-8"	PASSAGE
204	NEW WOOD PANEL DOOR	PRIVACY	2'-8"	6'-8"	PASSAGE

DOOR NOTES

- ALL EXISTING ROOM ENTRY DOORS TO BE REPLACED AS SHOWN.
- ALL INTERIOR DOORS TO HAVE SOLID BLACK DOOR KNOBS + HARDWARE TO MATCH EXISTING. CONFIRM FUNCTIONS AND MATERIAL WITH OWNER.
- ALL DOORS TO BE SOLID CORE WOOD 2 PANEL DOORS. CONFIRM DOOR STYLE AND MATERIAL WITH OWNER.
- CONFIRM NEW DOOR HEIGHT WITH EXISTING DOORS AND EXISTING OPENINGS WHERE REQUIRED.

CONSTRUCTION PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW GYP. BD. PARTITION
- 4" TYP. NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. #
- ELEVATION/SECTION KEY
- DWG #
- XX DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

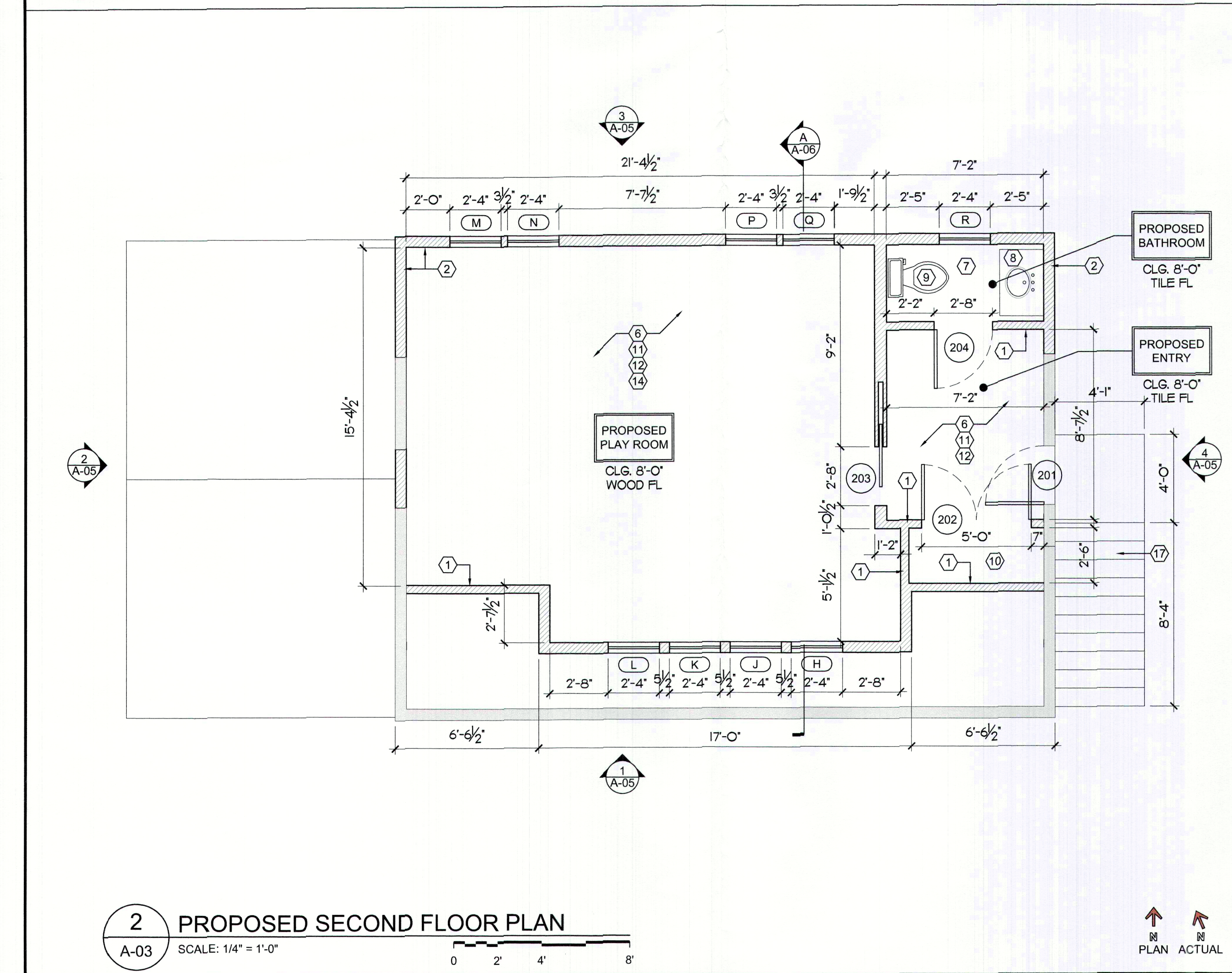
- DURING CONSTRUCTION CONTRACTOR IS RESPONSIBLE FOR PERFORMING THE WORK IN A MANNER THAT WILL AVOID HAZARDS TO PERSONS IN ADJACENT AREAS AND THAT WON'T INTERFERE WITH WORK OR PASSAGE TO ANY OF THESE AREAS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SUPPORT AND SHORING OF EXISTING AREAS AND PARTITIONS, ETC. DURING RENOVATION AND CONSTRUCTION.
- CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- ALL PENETRATIONS THROUGH DRYWALL AND MASONRY SURFACES INCLUDING BUT NOT LIMITED TO PIPE, CONDUIT, DUCTWORK, GRILLES, REGISTERS, DEVICE BOXES, HANGER RODS, ETC. SHALL HAVE THEIR COMMON JOINTS WITH DRYWALL AND/OR MASONRY CAULKED TO PROVIDE AN AIRTIGHT SEAL.
- ALL EXTERIOR WALLS TO BE INSULATED WITH R-20 BATT INSULATION. NEW ROOF ATTIC TO HAVE R-60 AND SLOPED CEILING TO HAVE R-30. NEW FLOOR TO HAVE R-19 AS PER NJ IRC 2021 1102.1.2 AND IECC 402.1.1.
- PROVIDE ALL NEW TRIM FOR BASE, WINDOW, DOOR, AND CROWN MOULDING TRIM. CONFIRM TRIM WITH OWNER AND/OR ARCHITECT. TYPICAL FOR ALL NEW AND RENOVATED SPACES.
- CONTRACTOR IS TO COORDINATE ALL RENOVATION AND ADDITION WORK WITH ALL OTHER TRADES AS REQUIRED.
- CONTRACT DRAWINGS ARE NOT INTENDED TO REPRESENT EXACT DIMENSIONS. FIELD DIMENSIONS ARE THE RESPONSIBILITY OF THIS CONTRACTOR FOR ALL PHASES INCLUDING BIDDING, FABRICATION, COORDINATION AND CONSTRUCTION.
- ALL EXTERIOR GLASS DOORS, NOTED WINDOWS, AND WINDOWS BELOW 18" AFF TO HAVE SAFETY GLAZING - REQUIRES MARKING CPSC 16" CFR 1201.
- NEW ELECTRICAL OUTLETS AND CABLE TV OUTLETS TO BE INSTALLED TO EXISTING PANEL(S) AS PER NEC 2020.
- PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
- FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

WINDOW SCHEDULE

#	TYPE OF WINDOW	R.O. WIDTH	UNIT HEIGHT	NOTES
FIRST FLOOR				
A	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
B	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
C	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
D	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
E	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
F	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-3"	
G	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-3"	
SECOND FLOOR				
H	NEW WOOD CASEMENT WINDOW	2'-4"	2'-4"	
J	NEW WOOD CASEMENT WINDOW	2'-4"	2'-4"	
K	NEW WOOD CASEMENT WINDOW	2'-4"	2'-4"	
L	NEW WOOD CASEMENT WINDOW	2'-4"	2'-4"	
M	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
N	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
P	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
Q	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-9"	
R	NEW WOOD DOUBLE HUNG WINDOW	2'-4"	3'-3"	

WINDOW NOTES

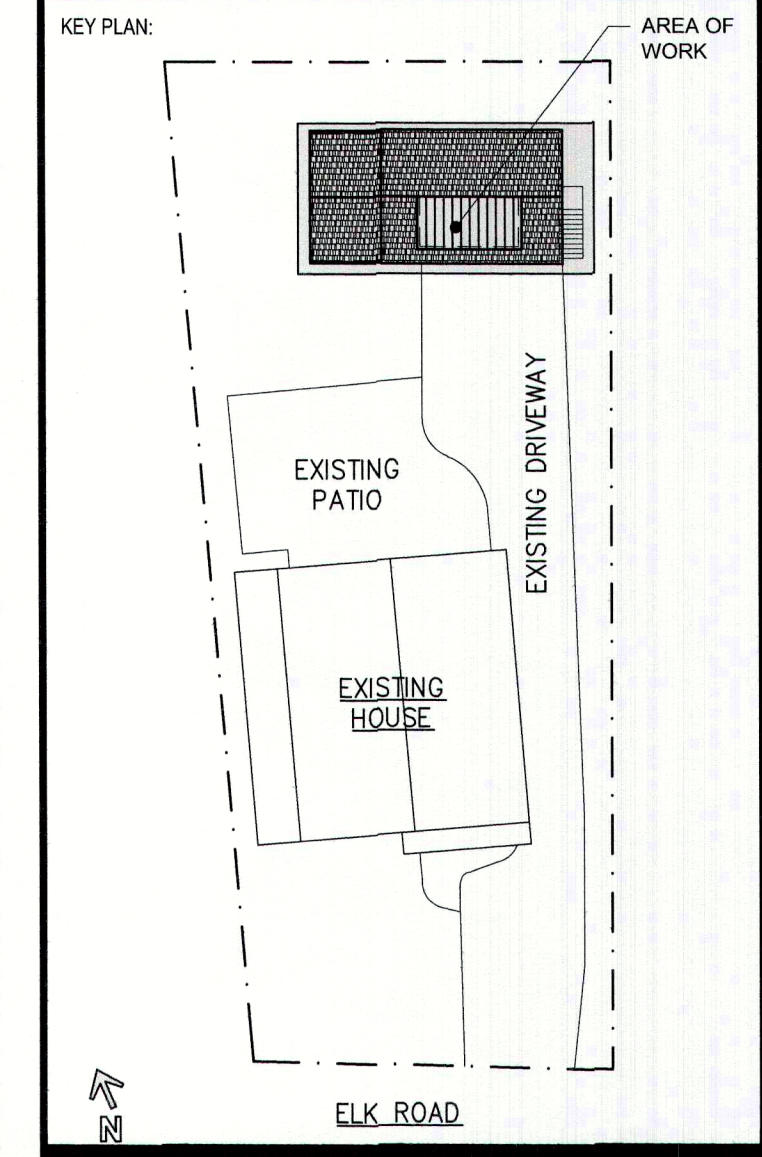
- ALL WINDOWS TO HAVE INSULATED LOW-E GLASS, SCREENS, AND HARDWARE TO MATCH EXIST.
- ALL TRIM TO MATCH EXISTING WHERE TO REMAIN. SILL HORNS TO EXTEND FOR TRIM, ALL EXTERIOR WALLS 2X6 WOOD STUDS (VERIFY IN FIELD).
- ALL EGRESS WINDOWS TO BE PER NJ CODE - 5.7 SQ FT CLEAR OPNG., 24" MIN. HEIGHT, 20" MIN. WIDTH MAX. 44" SILL HEIGHT ABOVE FINISH FLOOR.
- WINDOWS TO CLOSELY MATCH EXISTING AS POSSIBLE IN SIZE, DESIGN AND MATERIAL.
- CONTRACTOR TO CONFIRM WITH OWNER REGARDING STYLE, MATERIAL AND OPTIONS FOR ALL WINDOWS.



2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 A-03

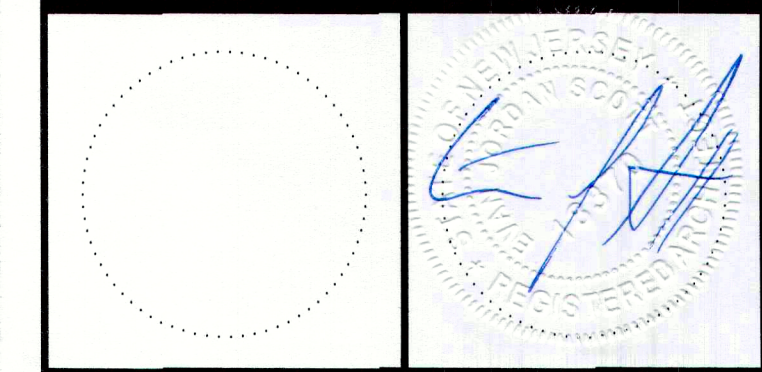
ARCHITECTS

EScott Architects, LLC
 28 Arlington Avenue
 Caldwell, NJ 07006
 P: 973.552.8888 | F: 973.680.1903 | info@escottarchitects.com



NO.	DATE	DESCRIPTION
4	05/10/24	ISSUED FOR NEW DECK-AMEND B
3	11/20/23	ISSUED FOR ZONING RESPONSE-AMEND A
2	10/05/23	ISSUED FOR PERMIT
1	05/03/23	ISSUED FOR BID

PROJECT:
ROMANYSHYN RESIDENCE
 30 ELK ROAD
 VERONA, NJ 07044



PROPOSED FLOOR PLANS & SCHEDULES

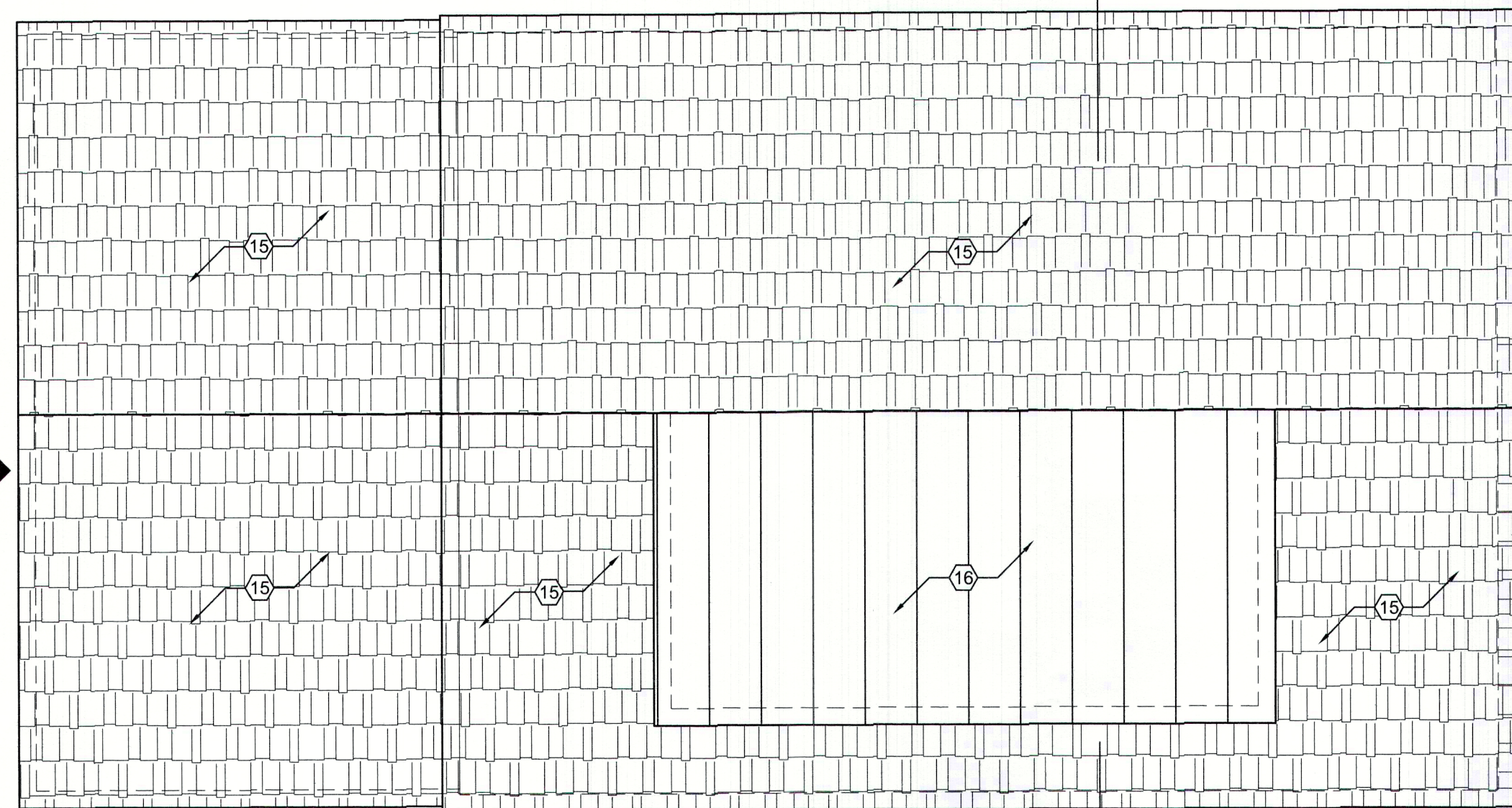
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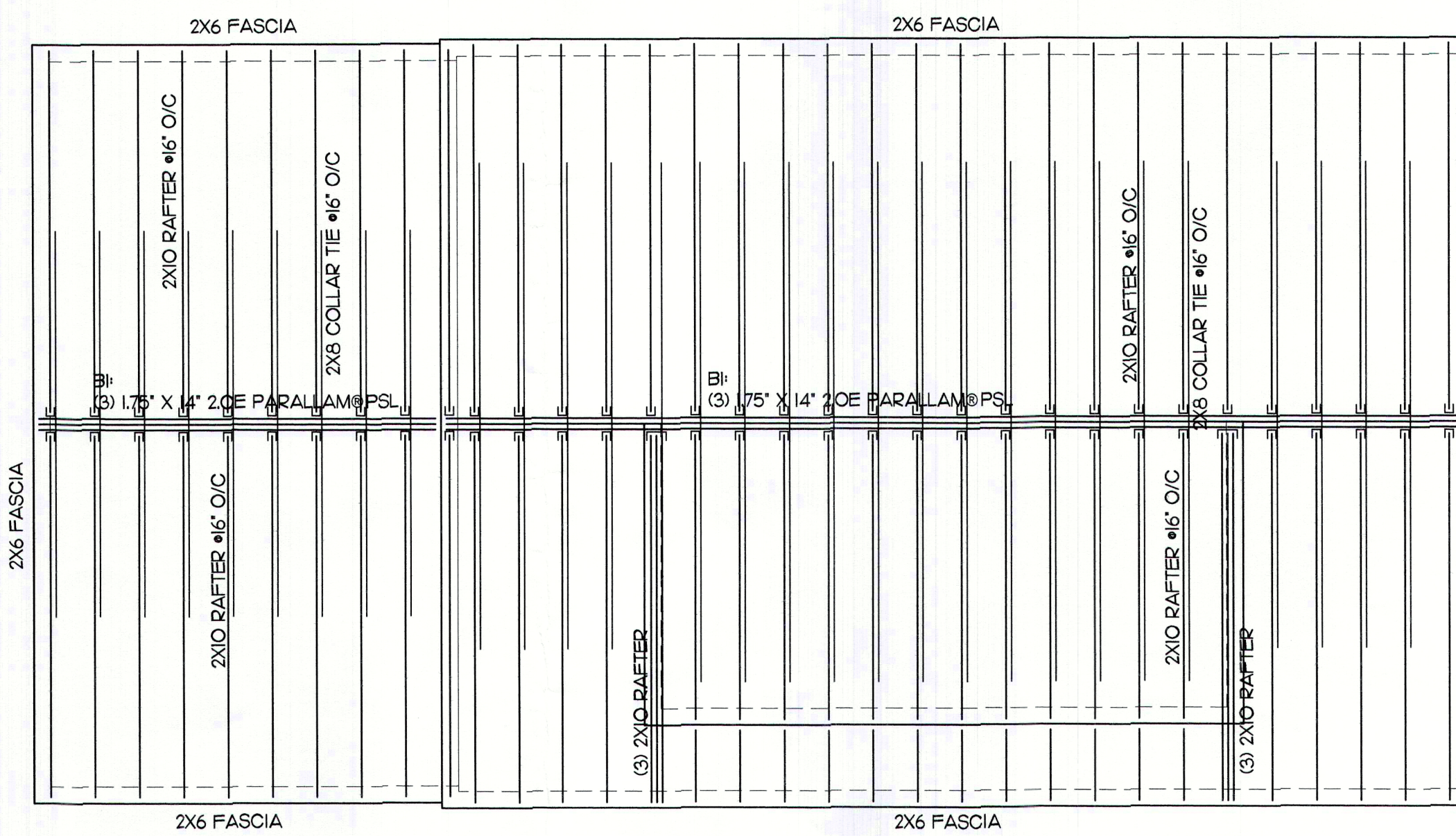
DATE: OCTOBER 2023 | PROJECT NO: ES-2311

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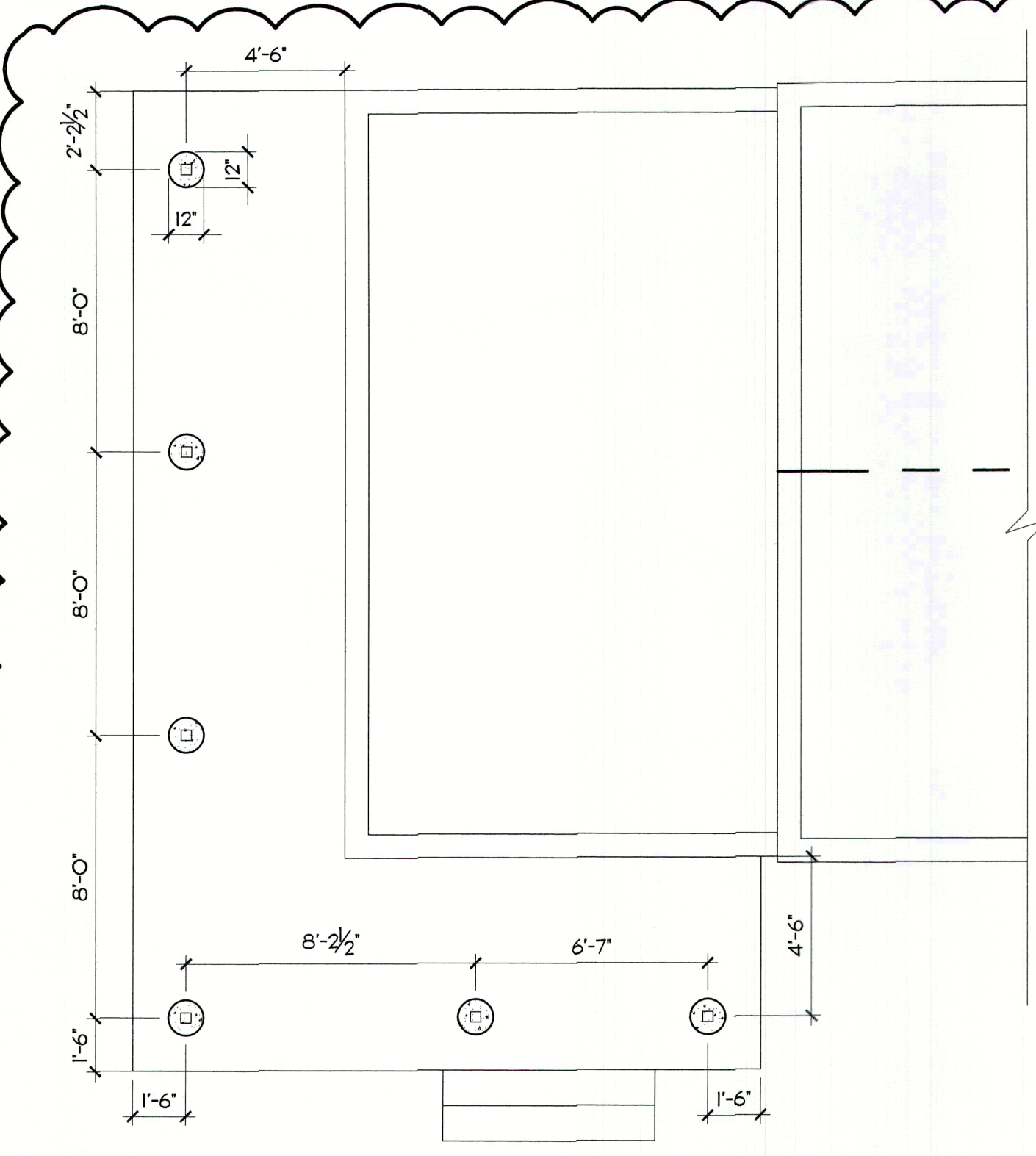
SHEET: 4 of 11



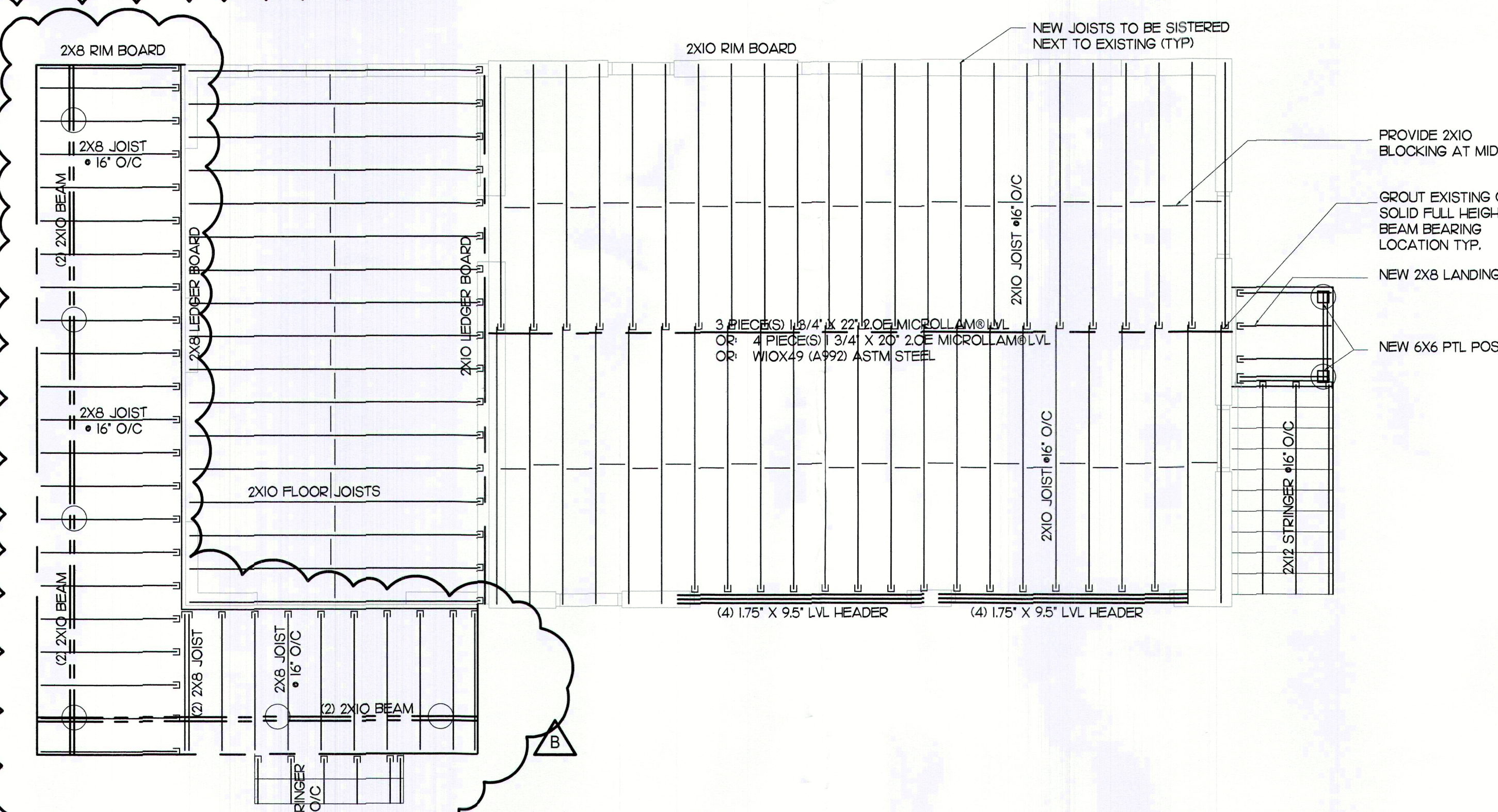
1 PROPOSED ROOF PLAN
 A-04 SCALE: 1/4" = 1'-0"
 PLAN ACTUAL



2 PROPOSED ROOF FRAMING PLAN
 A-04 SCALE: 1/4" = 1'-0"
 PLAN ACTUAL



4 PROPOSED FOUNDATION PLAN
 A-04 SCALE: 1/4" = 1'-0"
 PLAN ACTUAL



3 PROPOSED FIRST & SECOND FLOOR FRAMING PLAN
 A-04 SCALE: 1/4" = 1'-0"
 PLAN ACTUAL

CONSTRUCTION PLAN LEGEND

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- NEW GYP. BD. PARTITION
- 4' TYP. NEW DOOR & FRAME TO BE INSTALLED SEE DOOR SCHEDULE FOR TYPE
- NEW WINDOW & FRAME TO BE INSTALLED SEE WINDOW SCHEDULE FOR TYPE
- ROOM NAME
- DET. # ELEVATION/SECTION KEY
- DWG #
- DENOTES KEY NOTE, SEE KEY NOTES RIGHT

GENERAL CONSTRUCTION NOTES

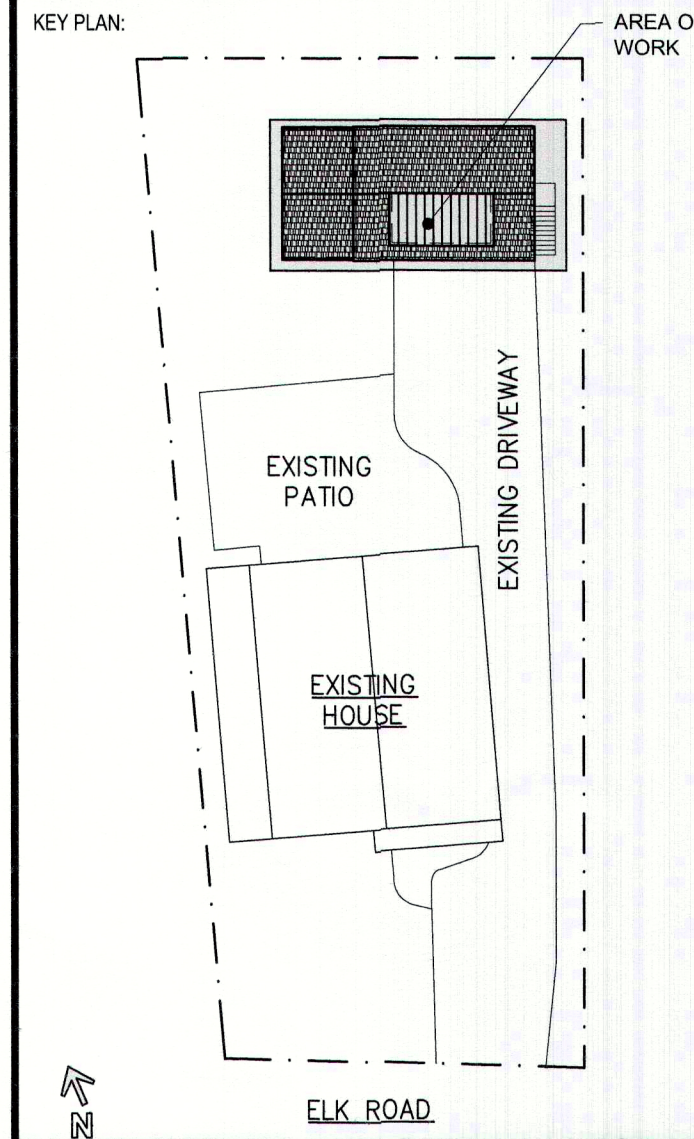
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11. PROVIDE ALL FIRESTOPPING REQUIRED PURSUANT TO IRC 2021, R302.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS.
13. FOR ALL NEW HEADERS AT NEW OPENINGS, SEE STRUCTURAL SHEET, NOTE #4.

CONSTRUCTION KEY NOTES

- ① NEW TYP. 2x4 WOOD STUD WALL #16 O/C WITH 1/2" GYP.BD. ON INTERIOR SIDES OF WALL.
- ② NEW 2x6 WOOD STUD WALL WITH 1/2" GYP.BD. ON INTERIOR SIDE OF WALL AND BATT INSULATION EXTERIOR SHEATHING, VAPOR BARRIER & SIDING AS REQUIRED ON EXTERIOR SIDE OF WALL.
- ③ NEW 2x3 FURRING WALL IN FRONT OF EXISTING CMU WALL WITH 1/2" GYP. BD. ON INTERIOR SIDE AND R-15 BATT INSULATION.
- ④ NEW CEILING WITH (2) LAYERS OF 1/2" TYPE-X SHEETROCK SCREWED TO JOISTS AND STAGGERED JOINTS.
- ⑤ NEW 2x6 SLEEPER SUB FLOOR ON TOP OF EXISTING CONCRETE FLOOR WITH 1/2" SHEATHING AND T&G SOLID WOOD FLOOR.
- ⑥ NEW T&G HARD WOOD FLOORING. CONFIRM STAIN COLOR & FINISH SHEEN W/ OWNERS.
- ⑦ NEW TILE FLOORING OVER 1/2" CEMENT BOARD. CONFIRM TILE TYPE, LAYOUT, SIZE & THE LIKE WITH OWNER.
- ⑧ NEW BATHROOM CABINETS AND VANITY TOP AS SELECTED BY OWNER.
- ⑨ NEW PLUMBING FIXTURE AS SELECTED BY OWNER.
- ⑩ NEW CLOSET SHELVING AS SELECTED BY OWNER.
- ⑪ NEW & EXISTING ROOMS TO RECEIVE NEW PAINT, TYPICAL. COORDINATE COLOR, FINISH AND LOCATION WITH OWNER.
- ⑫ NEW WOOD TRIM AT BASE, DOOR/WINDOW SURROUND AND CROWN MOLDING AS REQUIRED TO MATCH EXISTING STYLE AND TYPE. CONFIRM PROFILE DETAIL WITH OWNER AND ARCHITECT.
- ⑬ NEW BEAM. SEE STRUCTURAL SIZE OPTIONS IN PLAN.
- ⑭ NEW FORCED HOT AIR HEATING TO BE CONFIRMED WITH OWNER. PROVIDE NEW CENTRAL AIR CONDITIONING FOR COOLING.
- ⑮ NEW ASPHALT ROOFING SHINGLES AND SUBSTRUCTURE AT NEW ROOFS.
- ⑯ NEW STANDING SEAM METAL ROOF WITH ICE AND WATER SHIELD OVER NEW ROOF SHEATHING.
- ⑰ PROVIDE NEW STRINGERS AND STAIR TREADS AND RISERS TO REPLACE EXISTING. USE PRESSURE TREATED LUMBER. PROVIDE OPEN RAILING AND BALUSTERS TO SECOND FLOOR.
- ⑱ PROVIDE NEW CONCRETE POLISH AND TOP COAT FOR EXISTING GARAGE FLOOR. SEAL AND TOP FINISH.
- ⑳ PROVIDE NEW CABINERY FOR NEW BAR AND COUNTERTOP. ANCHOR TO NEW SUB FLOOR.

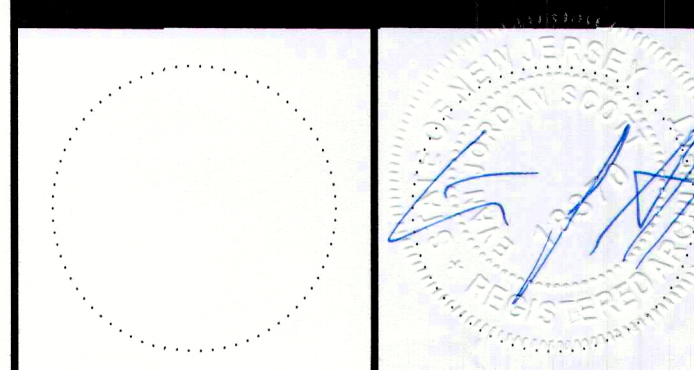


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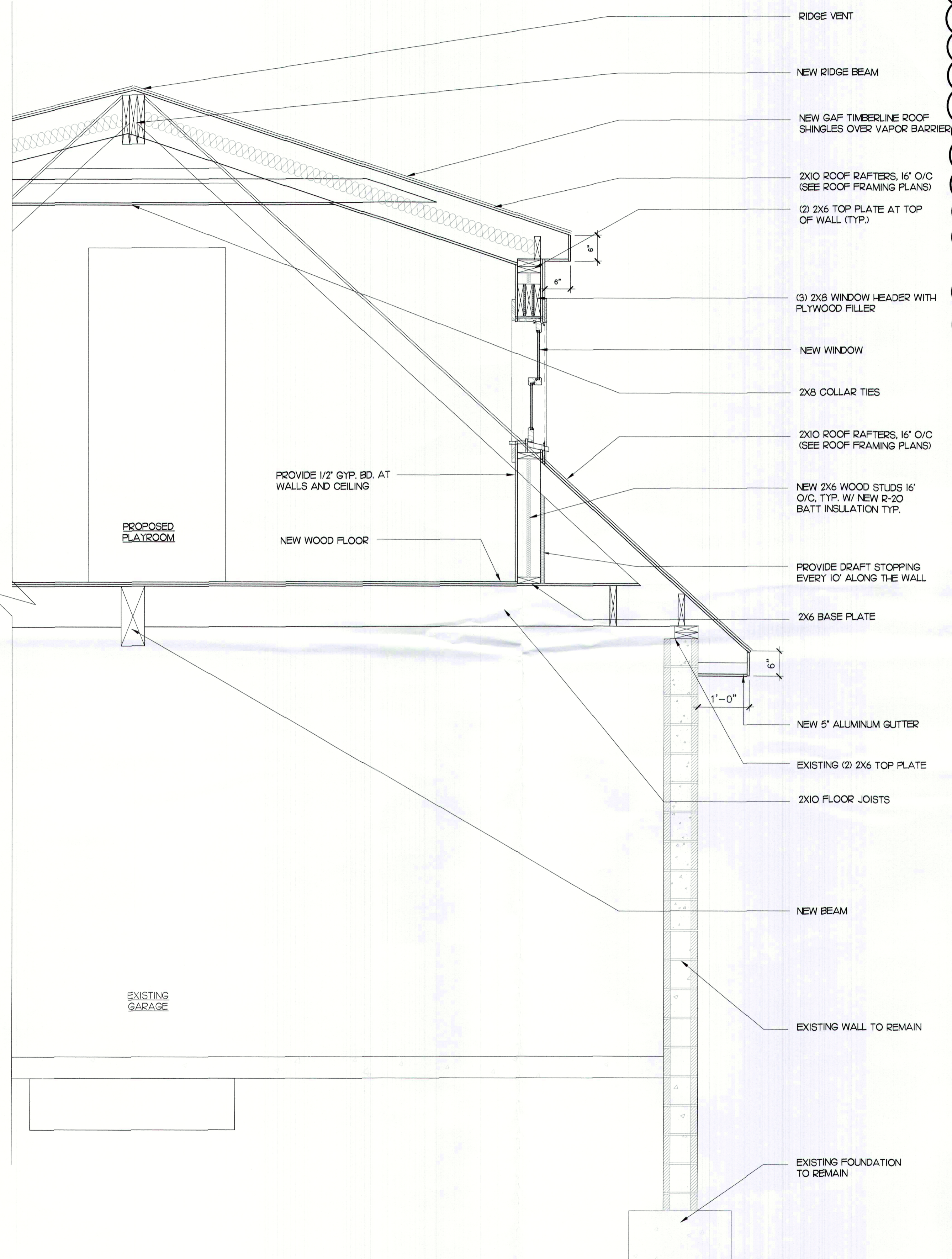
PROJECT:
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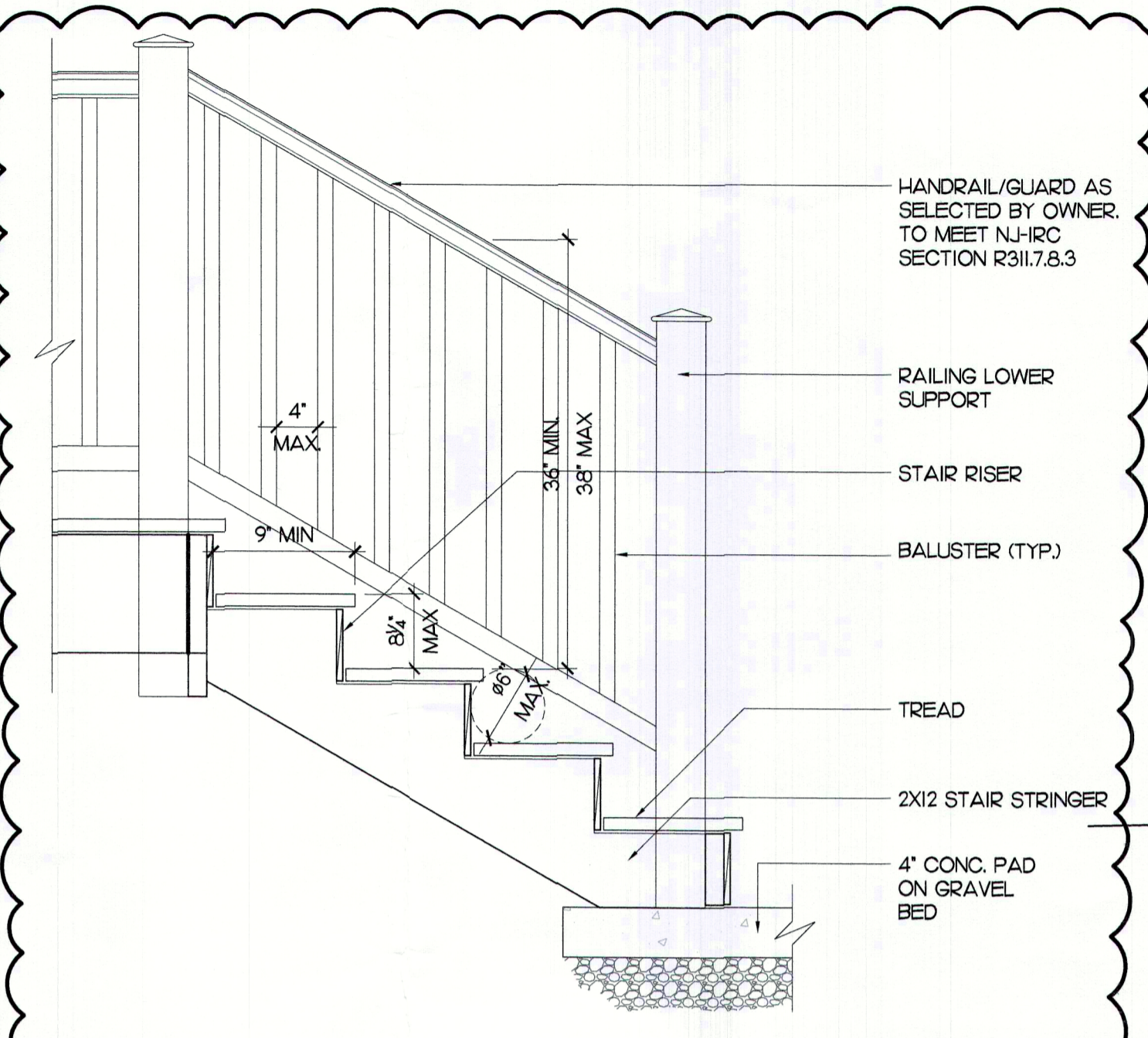
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PROPOSED SECOND & ROOF FLOOR PLANS

DRAWN BY: ES	CHECKED BY: ES
DATE: APRIL 2023	PROJECT NO: ES-2311

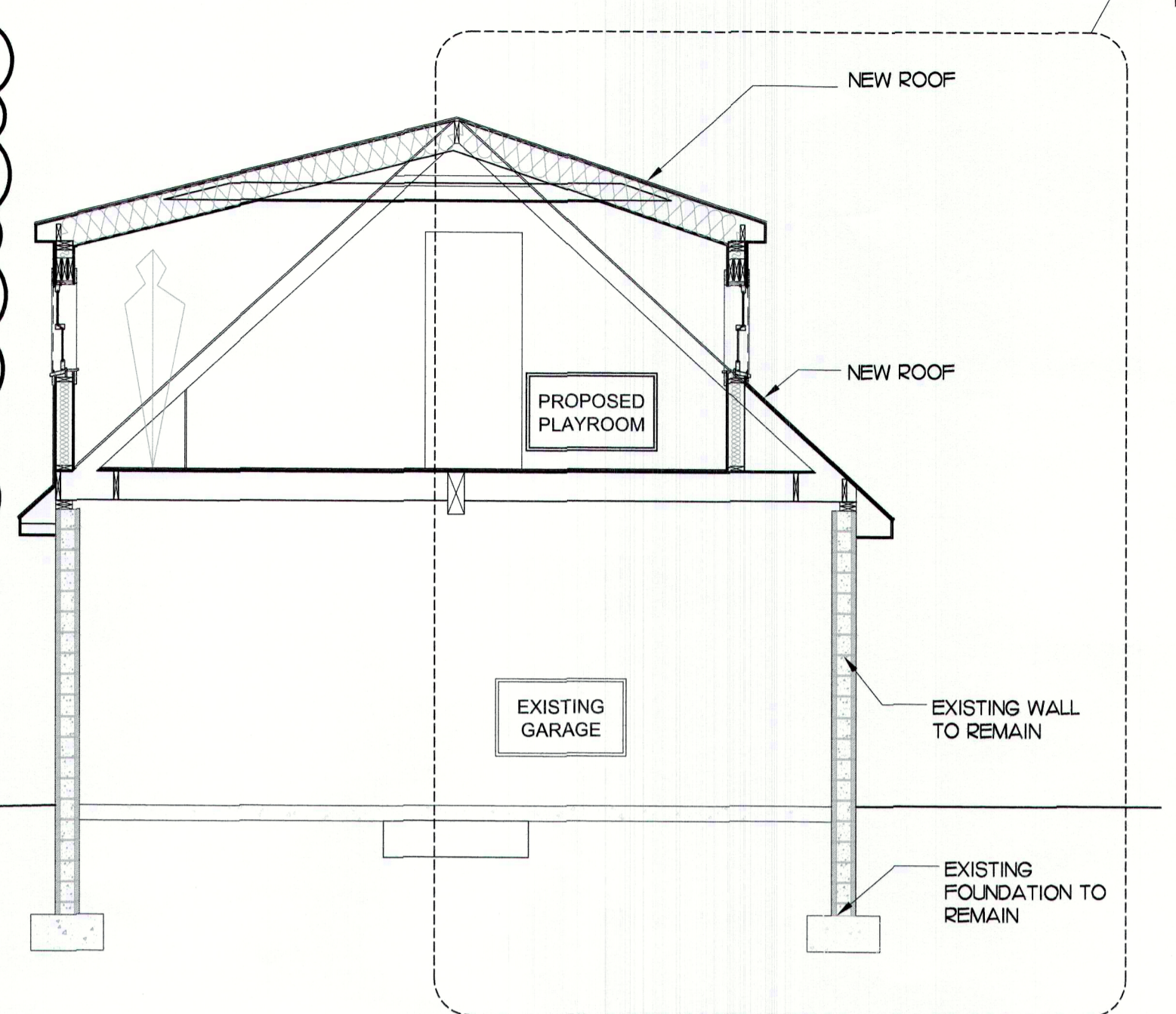
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A-04
 SHEET: 5 of 11



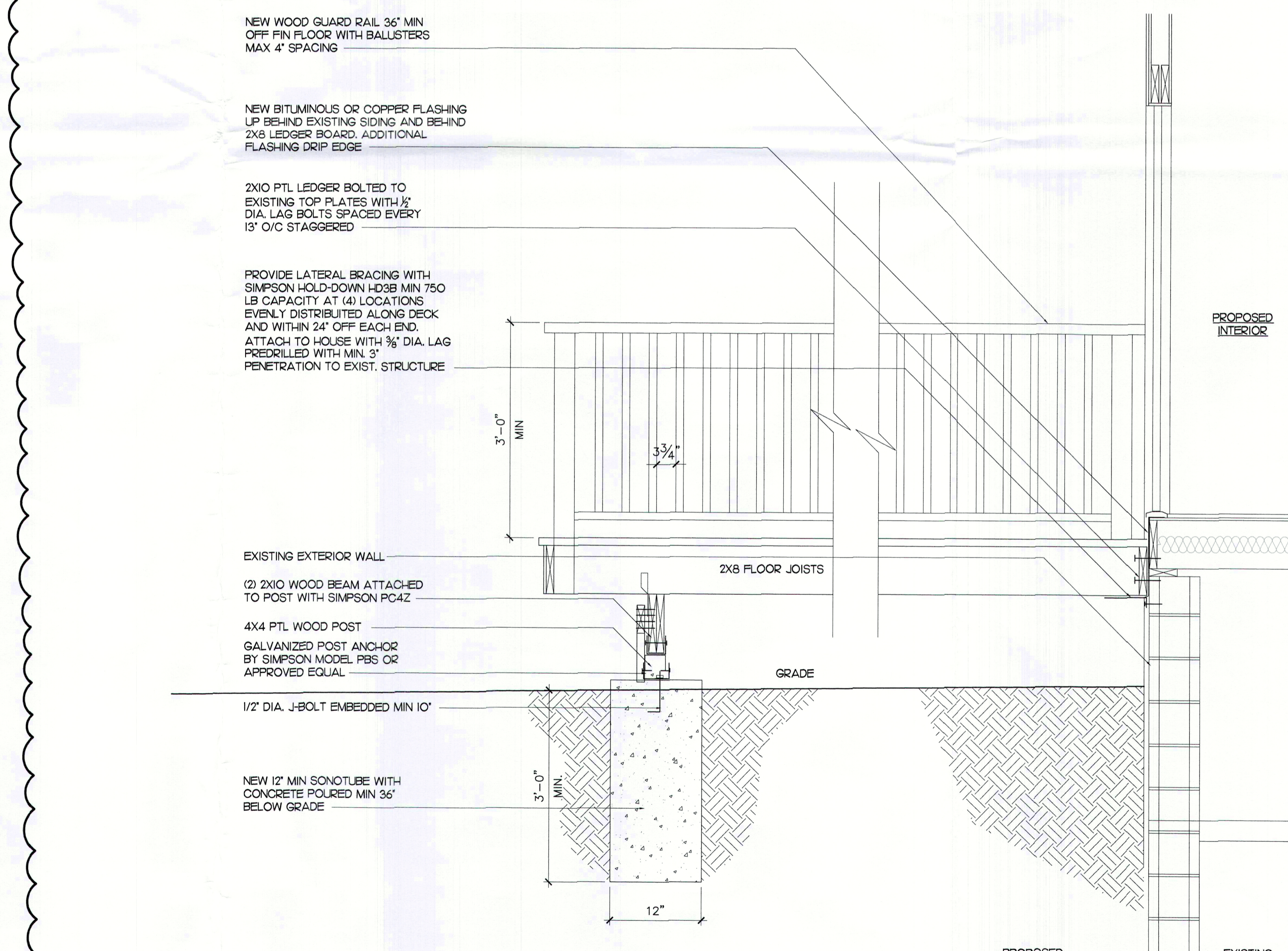
A WALL SECTION A
A-06 SCALE: 3/4" = 1'-0"
0 1' 2' 3'



1 EXTEIROR STAIR DETAIL
A-06 SCALE: NTS



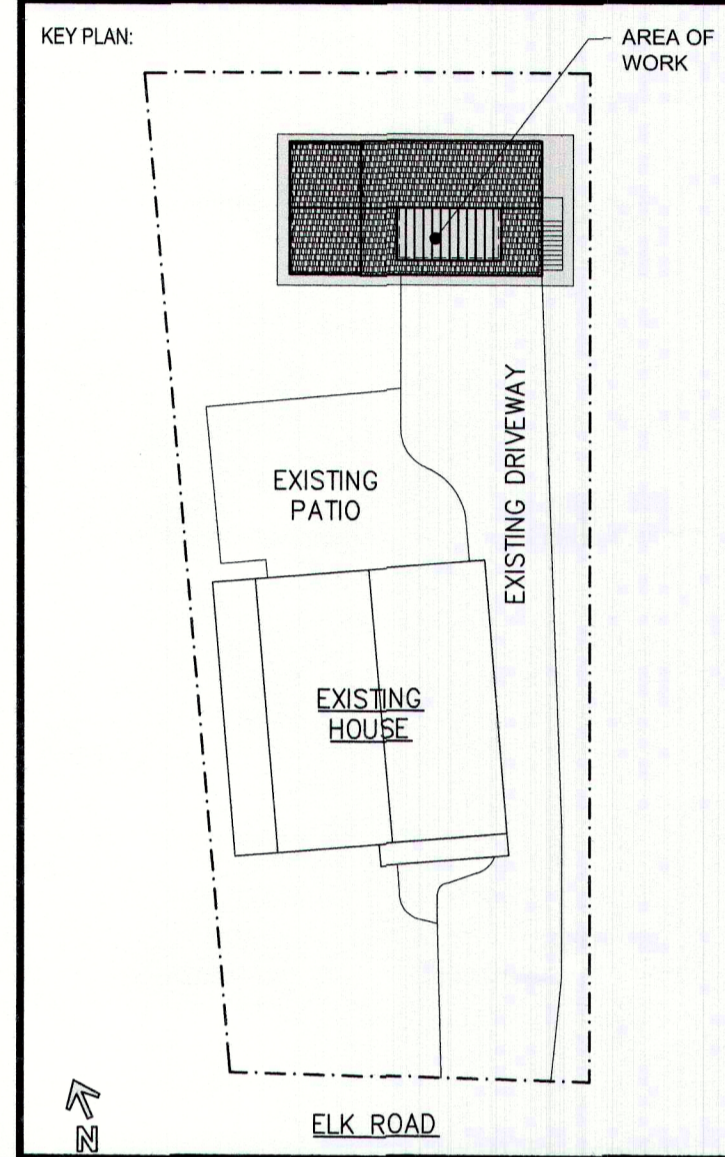
B WALL SECTION B
A-06 SCALE: 1/4" = 1'-0"
0 2' 4' 8'



C WALL SECTION C
A-06 SCALE: 3/4" = 1'-0"
0 1' 2' 3'



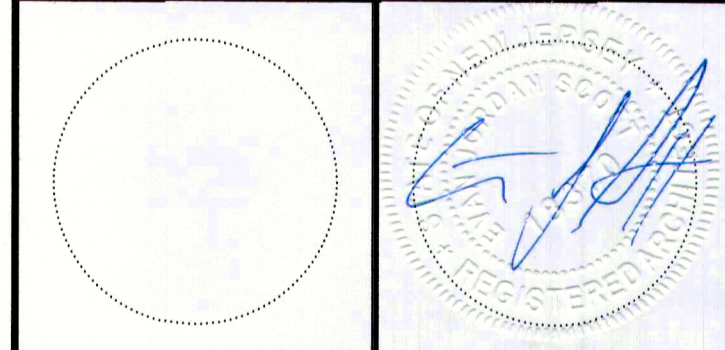
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PROJECT:
ROMANYSHYN RESIDENCE

30 ELK ROAD
VERONA, NJ 07044



DRAWING TITLE:
WALL SECTION AND FRAMING PLANS

DRAWN BY: HM	CHECKED BY: ES
DATE: OCTOBER 2023	PROJECT NO: ES-2230

DRAWING NO:
A-06